



**CITY COUNCIL**  
**Regular Meeting – February 22, 2016 6:00 p.m.**  
**Council Chambers**

**PROCLAMATIONS**

- ◆ National Girl Scout Week, Susan Grinkemeyer

- I. CALL TO ORDER
- II. ROLL CALL
- III. PLEDGE AND MOMENT OF SILENCE – Council Member Litteral
- IV. APPROVAL OF AGENDA
- V. APPROVAL OF MINUTES
  - A. February 8, 2016 Regular Meeting
- VI. ORDINANCES, RESOLUTIONS AND PUDS
  - A. Ordinance 16-01 Z-16-1 TCN Behavioral Rezoning, I-1 to RP-1 (Second Reading - continued)
  - B. Ordinance 16-03 Additional Appropriations (Single Reading)
- VII. PUBLIC HEARING – MX-PUD 93-4 Amend 1-16, Ashton Brook Phase 5
  - A. Applicant Presentation
  - B. Staff Presentation
  - C. Public Input
  - D. Council Input
  - E. Ordinance 16-02
- VIII. PUBLIC HEARING – PUD 15-3 SSP #1 AAA – Bob Sumerel Tire
  - A. Applicant Presentation
  - B. Staff Presentation
  - C. Public Input
  - D. Council Input
  - E. Motion
- IX. LIQUOR PERMITS
  - A. Deccan Group LLC dba Banjara (Stock)
  - B. Lakes Venture LLC dba Fresh Thyme Farmers Market (New)
- X. DECISION ITEMS
  - A. Board Appointments
  - B. Acceptance of 4<sup>th</sup> Quarter 2015 Financial Summary
- XI. CITY MANAGER'S REPORT
- XII. MAYOR'S REPORT
- XIII. COUNCIL TIME
- XIV. CITIZEN COMMENTS
- XV. ADJOURNMENT

BEAVERCREEK CITY COUNCIL  
REGULAR MEETING February 8, 2016 6:00 p.m.

**CALL TO ORDER**

Mayor Stone called the meeting to order followed by roll call.

**PRESENT:** Council Member Jarvis, Council Member Litteral, Council Member Upton, Council Member Whilding, Vice Mayor Vann, Mayor Stone

**ABSENT:** Council Member Wallace

Council Member Upton **MOVED** to excuse Council Member Wallace, seconded by Council Member Litteral. Motion **PASSED** by majority voice vote.

**ALSO IN ATTENDANCE:** Randy Burkett, City Planner; Michael Cornell, City Manager; Dennis Evers, Chief of Police; Bill Kucera, Financial Administrative Services Director; Dianne Lampton, Clerk of Council; Jeff McGrath, Planning & Zoning Director; Steve McHugh, Legal Counsel; Mike Thonnerieux, Public Administrative Services Director

**PLEDGE**

Council Member Jarvis the pledge and a prayer.

**APPROVAL OF AGENDA**

Council Member Litteral **MOVED** to approve the agenda, seconded by Vice Mayor Vann. Motion **PASSED** by majority voice vote.

**APPROVAL OF MINUTES**

Council Member Litteral **MOVED** to approve the minutes of the January 16, 2016 Council Advance, seconded by Council Member Jarvis. Motion **PASSED** by majority voice vote.

Council Member Upton **MOVED** to approve the minutes of the January 25, 2016 Regular Meeting, seconded by Vice Mayor Vann. Motion **PASSED** by majority voice vote.

Council Member Litteral **MOVED** to approve the minutes of the January 25, 2016 Work Session, seconded by Council Member Upton. Motion **PASSED** by majority voice vote.

**ORDINANCES, RESOLUTIONS AND PUDS**

**Ordinance 16-01 Z-16-1** TCN Behavioral Rezoning, I-1 to RP-1 (Second Reading)

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Council Member Litteral and Vice Mayor Vann recused themselves from this reading.

Clerk Lampton read an Ordinance amending the Zoning Map, by rezoning approximately 3.223 acres of land located at 1400 Grange Hall Road, further described as Book 2, Page 13, Parcel 70 from I-1 Light Industrial to RP-1 Research Park District (Z-16-1).

Mr. McGrath recapped the details for this case. He said the Land Use Plan does have this area as research park and office development. He said Research Park does have strict requirements as of the type of use that are appropriate to be located within their park. He said given the research functions of TCN, their partnerships and research relationship with Wright State University, Research Park said this is a qualified use within the park. He said Mr. Otto will be speaking as to the operations of TCN to hopefully answer some of the questions out there regarding the misnomers as this being a treatment facility other than what the scope of services they will actually provide at this location. He said the services they provide are more a professional medical office research facility. He said there are no overnight treatments, this is more of a scheduled appointment medical research and rehabilitation/treatment facility.

Mr. Tom Otto 2252 Horseshoe Ct, Beavercreek, Ohio

Mr. Otto is the associate CEO of TCN. He said they plan to provide treatment for mental health, substance use, mental health group and individual counseling, psychiatric services, prevention services and case management to youth and adults. He said they would be bringing 30-35 jobs to the area. He said there is adequate and well-lit parking along with ground staff for maintenance. He said they will be serving an estimated 70-90 clients per day.

Brian Wright, attorney, Faruki Ireland and Cox P.L.L., Dayton, Ohio

Nathan Kernbau gave his three minutes speaking time to Mr. Wright.

Randall Clark gave his three minutes speaking time to Mr. Wright.

Mr. Wright said he represents Research Park Blvd. LLC which is the owner of the building directly adjacent to the proposed rezoning. He said he also represents Resonant Sciences, Nathan Kornbau and Randall Clark. He said he agrees with TCN's mission but the question today is what TCN does appropriate for where they are being located in this space. He credited Mr. Otto according to the meeting minutes, for being very honest of what he plans to do with this site. He said they are going to do mental health prevention, substance abuse and

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treatment, case management and psychiatric services with 70-90 consumers per day. He said his interpretation of that, while they may have some ancillary research activity, is a rehabilitation type center and not primarily a research center. He said they provide treatment for folks that are on community control and treatment for folks that receive intervention in lieu of conviction through the criminal justice systems. All things he supports and think are great. He said the question is are they appropriate to be where they are now. He was there for the company he represents because he believes this zoning issue is significant and was glad they were discussing it now to avoid issues later on. He said the zoning code is pretty specific as what it requires for public notice. He said there is some question in his clients and several other people that live around there of whether they received personal notice in this case. He said he thinks that's an issue but they were there now so let's talk about where we are right now. He said he's trying to prevent City Council and TCN from making a mistake. He said if they move to that facility not only will they damage the businesses and tax base of Beavercreek, it will violate the very intentional zoning code. He said it would damage, in his opinion, the opinion of his clients and several of the neighbors, the Miami Valley Research Park. He said they are going to tell you about that. He wanted to speak about the zoning code and his interpretation of it and how they can avoid some issues. He said this area is currently zoned as I-1 Light Industrial, He said they are trying to convert it to a Research Park District which includes the purpose to research and development type facilities, which includes offices and professional services that generally do not generate a large number of walk up customers, etc. He read the minutes from the last meeting and Council Member Jarvis asked the direct question of how does TCN fit in a Research Park 1 zoning criteria. He said the answer was it provides professional services. He said the appendix of the zoning code that is very particular about certain types of uses and whether it would apply to certain types of districts. It delineates physician facilities, medical facilities and drug treatment facilities. In the appendix, it does not state that those types of facilities would be appropriate in a research park, office research park or light industrial. He said this is significant because they want to avoid any issues later on. If the zoning passes and the facility goes in, there is some real danger they are walking into creating a public nuisance. If they violate the zoning code that's going to be a public nuisance per say and puts the city in an awkward position for having to issue, in his opinion, a lot of pressure from the community, violations and fines. He said the community and the neighbors have their own rights and can assert a private nuisance cause of action. He said these are all things we want to avoid. He said the City of Beavercreek is a unique area in southwest Ohio. It's very close to Wright Patterson Air Force Base, it attracts a large number of defense contractors many of which are in those research facilities that you will hear from tonight. He said they are very important to the City of Beavercreek and was sure

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you would agree. He said the City of Beavercreek is very proud of the fact that it doesn't have an income tax. It should be proud of the fact it attracts these defense contractors. He said he thinks the Miami Valley Research Park should be very proud of what it's done here to create a research park to attract businesses like this. He said allowing TCN Behavioral Services to move in the middle of a research park of defense contractors who all work on security clearance type projects would be problematic. He said to move in directly across the street from a pre-school would be even more problematic. He said this is the exact type of thing the zoning code needs to prohibit. He said it needs to prevent damages to these businesses that are neighbors, it needs to prohibit damages to the taxpayers of Beavercreek. It was his opinion that if TCN operates in here it would be violating zoning code and creating a public nuisance. He respectfully requested that City Council reject the attempt to amend the zoning for this area. He said he supports what TCN does and a lot, if not everyone here does. He said we want to help them find a place that's local, nearby, that would be appropriate for their business. He said there are plenty of places that are already zoned as a business zoned area or office zoned area that would be perfectly appropriate for what they do. He respectfully requested, after hearing from everyone, the Council reject this amendment.

Ron Sweeney, 4060 Executive Drive, Beavercreek, Ohio

Mr. Sweeney said he was the business owner for Coldwell Banker Heritage along with a mortgage and title company. He said when they pull out of Executive Drive they have an issue turning left. He believed this will cause a major issue for them. He said they also have an overall safety concern. He said he believes in what TCN does and run a really good business but it's not zoned appropriately for this area. He said they came to Research Park ten years ago and their lease is up in two years. He said they are looking to potentially buy it but this would make them reconsider significantly and they have about 40 jobs in that building. He said it is a major concern for them because they have a lot of clients coming in and out. He doesn't think it should be rezoned.

Micah North, 3975 Research Blvd, Beavercreek, Ohio

Mr. North is president of Resonant Sciences which is next door to the property in question. He said they have serious concerns about TCN moving in. He said they have 35 employees plus another 70-90 daily folks coming in and out. He said the traffic is already bad in that area. He knows in other cases when these things have been approved there has been a requirement to either widen the road, insert a traffic light or do something to mitigate the traffic situation. He overall from a research park standpoint has concerns about changing the makeup of the research park significantly. The research park has traditionally not been a group that has a large amount of retail walk up business that comes

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in and out. He did not know exactly what TCN's plan were for that facility but he understood that a lot of their facility is for walkup business. He supports the mission that TCN is performing with the drug epidemics that are going on in Ohio it's a greatly needed mission. He thinks very highly of them for doing this but did not believe the research park is appropriate for that with the businesses that are there and is afraid it could have a negative impact.

Ron Arnold 2496 Commons Blvd, Beavercreek, Ohio

Mr. Arnold said he has been involved in development in Beavercreek for thirty years and has never chosen to speak against anyone because he feels everyone has a right to do what they want to do unless we feel it begins to harm other businesses in which he is involved in. He said he was here with Spectral Energies getting approval for a building that is across the street from Coldwell Banker. He said Spectral Energies is what everyone has described here; a defense contractor that is on the rise and doing a lot of business with Wright Patterson Air Force Base. He said he worked to bring them back from Englewood. He said they have expressed concerns about security as they have employees that work late and are not always there with other people. He said security is a big issue and there isn't any security as they understand with this particular organization. He said property values is another concern. He said this a research park and this is what we want and to be affiliated with Wright-Patt; we want those types of businesses. He said for us to deviate from this path dilutes the concept of having research and development coming out of these areas. He said you have to plug all of the issues in and see if it really is a good fit. Maybe on paper it would be an allowable fit based on what you see but sit back and look at it long term. It's probably not the type of fit that we would like to see.

Katherine Gaskill, 421 Executive Drive, Beavercreek, Ohio

Ms. Gaskill is a 43 year resident of Beavercreek and works for MacAulay Brown which is the building across from the proposed facility. She said she supports the mission of TCN however MacAulay Brown is a long term tenant in facility across the street. She said they believe rezoning would impact the integrity of the businesses that are in the business park and would like to preserve the initial zoning at the business park of Light Industrial One. She said she would like to echo Mr. Wright in terms of Research Park zoning which would provide 70-90 clients coming into the facility on a daily basis. She said according to the definition of proposed zoning change it violates the language. She said safety is a concern. There is a pre-school across the street, the bike path, the adjacent businesses and the residents in the community. She said traffic congestion is a problem in the area and having 35 additional employees and approximately 70-90 clients coming in a daily basis would compound that concern. She said ideally an area near the Soin Medical Center would be ideal and also provides for

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public transportation which would be beneficial for potential clients. She supports the mission of TCN but doesn't believe the facility they are proposing is appropriate for what they do. She requested the City Council reject the rezoning application.

Travis Greenwood, 1360 Technology Ct, Beavercreek, Ohio

Mr. Greenwood is the president and CEO of the Green Tree Group which is located on Technology Court. He said they built the building in 2002 and admires the city, the police department and the road department. He supports the mission of TCN like everyone else. He said he has a couple different worries and explained when they moved into the park they were told what it was going to be zoned for. He said they moved there to be with their professional peers. He said unfortunately the rezoning request and what would have to go into that building does not meet the type of peers they want in their neighborhood. He said that does not say anything bad about the people who do need treatment, he is all for that. He also had a safety concern explaining they have, at least once per month, someone who comes into their building lost. If they are going to get more traffic with people that may have problems; he is worried about that. He said the cul-de-sac in the back is patrolled by police and there have been many times where they have had questionable cars there and people changing their oil. He worries about cliental that may still be having troubles visiting the treatment center doing something they shouldn't be doing. He said this is right next to their property.

Brent Huntsman, 4080 Executive Drive, Beavercreek, Ohio

Mr. Huntsman is the president and owner of Terran Corporation in the research park down the street from the subject property being discussed. He said they built the building in the research park specifically to gain the synergetic effects of having like-minded professionals as well as the type of business they do. He explained more than 50% of their work is federal, state and local government. He admired TCN's mission and what they are doing is absolutely necessary but not in a research park development. He believed the proposed changes to the research park zoning is not appropriate for the uses that have been in place for a number of years. He believed the property, if used by TCN, will create congestion and unsafe traffic conditions and security is something that has to be taken into consideration. He said the Terran Building has been vandalized along with capital property stolen by recovering addicts and felons in the last eight years. Security is something he believes should be taken a look at for the entire park if this type of venue of visitors or clients are always going to be exposed to the area.

Fred Burkhardt

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Mr. Burkhardt said his first obligation was to his two and a half year old son who is a student at Goddard. He said as a former director of housing community and economic development for Fresno, CA he is intimately familiar with the types of products and services that are being offered within the proposed zone. He felt the utilization of the proposed zone for the services provided by TCN does not fit for several reasons. He said if you consider 70-90 clients per day which he rounded to 80 with one trip in and one trip out constitutes 41,600 trips per year, five days per week, 8 to 5. He said given those numbers congestion on Grange Hall at this time, trying to get in to and out of Goddard safely is a question at 7:00 a.m.-7:30 a.m. and clearly 4:30 p.m. – 6:30 p.m. He said the connection between the proposed use and activities that don't quite meet the letter of the law is not uncommon. He said it's not the fault of TCN, it's the fault of those perpetrating the crimes. He wanted to consider the reputation of the City of Beaver creek. He said his company is growing, he performs analytics primarily for municipalities in dealing with the uses of land and assessments of property. If he were to choose to relocate and he had a choice between a property that was located immediately adjacent to or very close to a proposed use such as TCN is proposing he would pass it and move on. He is not a big company with 10-15 employees but would be making \$45-55,000 per year. Those are the kind of jobs that most cities would like. He said the mission of TCN should be applauded and is cleared needed but appropriate use for the property should not be what TCN is proposing. He urged Council to reject the application.

Lisa Durrant, 1423 Grange Hall Rd., Beaver creek, Ohio

Ms. Durrant is one of the owners of the Goddard School which is across the street from where TCN proposes to start their business. She walked and measured the distance stating it would take less than thirty seconds to get from their parking lot to hers. She said she is a nurse and has an investigative background and understands what happens and what can happen in these kind of businesses. She said they can't take that risk with the children or take the risk of someone who is incapacitated looking for treatment at seven o'clock in the morning and running into one of the parents or children. She said they can't take the chance of someone needing money or a fix or needing money to buy their treatment and looking at our families as a place to get that. She said their business could be destroyed by this. They have had many parents ask them already. Even with everyone agreeing this is a wonderful thing for TCN, it would not be a wonderful thing for Goddard. The parents do not want to take that chance.

Jeff and Connie Sawdey, 1430 Oat Ct., Dayton, Ohio

Mr., and Mrs. Sawdey own Sawdey Solution Services which is located behind the Northrup Grumman building. Their company employees over 250 individuals and

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currently the number one veteran owned company in Dayton. They applaud TCN's mission and has a family member who has issues so has firsthand experience with this but don't think the facility fits with the likeminded companies that brought them to this area. They have been in Beavercreek for nine years and currently on the last year of their lease. He doesn't want to move and doesn't want to be put in a position to look at this as an option. He said they live in Washington Township and a lot of their employees are all over the United States so they are not really tied here but they like it here. He does business with many of the other businesses in the Research Park. He said the treatment facility does not fit any more than putting liquor store next to an AA meeting place. It doesn't go well together.

Tony Witt

Mr. Witt explained he was with Cushman and Wakefield representing three of the buildings in Apple Valley. He said he was here because of the tenants that are concerned and he does not need competition when he goes to renew those leases. He said it is hard enough to attract tenants into the park today because there is so much space in the market. He doesn't think it is needed and it is not zoned for it. He asked Council to reject the proposal.

Alan Martinez, 2012 Wilberforce, Xenia, Ohio

Mr. Martinez said his son goes to the school along with his wife working across the street from the building in question and he is concerned with their safety. His wife will work either early in the morning or late at night. His best friend died in a car accident who was using drugs and he knows the consequences of people in this situation. He said they need help but they also can be dangerous people when they are pressed by the need. He did not want that risk for his child, his wife or any of the other children and parents. He said this is a safe place to walk around but it will not be safe for his family anymore.

Angie Daniele 3829 Taft Ave, Beavercreek, Ohio

Ms. Daniele said her sons go to Goddard School. As a parent she is concerned for the safety of her kids. If TCN were to come across the street from the Goddard School she would be dropping them off and worrying every single day if something bad is going to happen to them. She said she would reconsider sending her kids there but they have been there for years and does not want to do that. She said this is not going to be easy for the owners of Goddard if TCN is allowed to move in across the street. It will be an ongoing issue for them. She said the mission of TCN is worthy but does not believe the location is appropriate across the street from the Goddard School or the office park. She requested City Council to reject the rezoning application.

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Mike Anderson, 4021 Executive Dr., Beavercreek, Ohio

Mr. Anderson is the facility manager at MacAulay Brown Inc. who employs about 150 people and will be needing more space for another 15-20 people. They have been a tenant since 1996 with their main customer as the Department of Defense and Wright-Patt Air Force Base. He said they host a lot of meetings and their customers like the area. He said they live and die by the contract like any defense contractor. He said something like this going in would be a detriment to their industrial base and will have people looking long and hard if they should give them a particular contract. Their present leases are up at the end of next year and they will look long and hard as to whether or not to renew and whether or not their industrial base will be leaving them because of things like TCN coming into the area.

Tom Kornbau, Sugarcreek Township, Ohio

Mr. Kornbau is an employee at Resonant Sciences which does Department of Defense work. He is worried about building this business including recruiting people and selling them on the area.

Sean Simmons, Beavercreek, Ohio

Mr. Simmons spoke on behalf as a resident. He has two kids attending Goddard and is naturally concerned as is his wife. They drop them off early and pick them up late. They also use the bike path which is next to the property in question. He is concerned about his wife taking the kids there alone. He requested Council reject the rezoning application.

Brian Boggs, 1423 Grange Hall Rd., Beavercreek, Ohio

Mr. Boggs is another owner of the Goddard School. His kids along with 140 other kids attend the school. He said their biggest concern is to have parents drive by that every day. He said whatever TCN's mission is it is not something they necessarily need their parents see on a daily basis and definitely not what they need the kids seeing on a daily basis. He said 65% of his parents come from the office park or Wright-Patt. Goddard would be directly impacted by something like this if it were to go in across the street. He requested Council to reject the rezoning application.

Ron Miller, 538 Snyder Ct., Beavercreek, Ohio

Mr. Miller said he works at Resonant Sciences and is one of the building owners. He grew up in Beavercreek and just invested a lot in Beavercreek and is jealous of those who have leases ending and can get out of there. He said it's an awkward position to be in of wanting to be back home and things turn like that. He asked Council to reject the rezoning. He said many of the other companies could not be here and wrote letters.

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Clerk Lampton stated, for the record, there were letters and emails received regarding the rezoning. Brian Boggs, Goddard School, stating he was against the rezoning; Jeff Van Fleet, Lighthouse Technologies, stated he was against the rezoning; Michael Dyer, Orbital ATK, stated he was against the rezoning.

Public Input portion of the public hearing was closed.

Mayor Stone explained this was the second reading and it did not necessarily require any action on Council's part.

Council Member Jarvis said the advantage of having three readings is you have a chance to look at the zoning, what it says and ask people questions and investigate. He said he spoke with someone who works in a building in Kettering where a facility like TCN moved in. He read this facility's mission statement and is almost identical to TCNs. He said the issue of safety is what interests him. He said the management of the two buildings recommended that employees do not leave their cars unlocked and female employees to not go to their vehicles without an escort. The employee's company regrets not getting involved in the application process in Kettering. Council Member Jarvis was invited to watch what goes on in the evening and was told it would be eye opening. He said his priorities, as they have always been, is the safety of Beaver creek residents, employees and visitors. He said this decision will impact the city for a long time to come.

Council Member Whilding asked if there can be any overnight stays in this location. Mr. McGrath replied no. He said safety concerns should be directed to TCN and staff looks at the issue from a zoning perspective. Council Member Whilding confirmed that somebody can chose to come to the facility on their own or they could be court ordered. Mr. Otto replied yes. Council Member Whilding questioned the responsibility of transportation and whose responsibility is it to be sure they leave under the appropriate means that they came or are they just walking out. Mr. Otto said he believed some of the speakers earlier were referring to the severely and persistently ill. He said those cases would be primarily taken care of in the Xenia and Fairborn locations. He said the case management for this location would be for youth. He explained in terms of obligations for treating them it is to provide treatment and make sure they are doing everything the court has asked them to do. He has been in this business for over twenty-two years, seventeen withy TCN, and not one time have they had an issue with safety for their staff, or fear of locking their cars or anything like that. He said if you talk to their neighbors, like Bob Evans, Roosters or Frisch's, he felt they would say the same thing. He said in terms of the patients and how

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they interact, they are there to get help and that is their focus. It is not to wonder off the premises. It's similar to someone with high blood pressure or diabetes, it's a condition. He said we have 43 million Americans effected by mental health conditions. He said that is one in five, so chances are somebody in this room, your neighbors or your peers has a mental health condition. He said some of the stuff we're talking about is out of fear or fear of lack of understanding. He appreciated that and part of his job is to provide as much education to reduce the stigma and some of the myths of mental health and substance abuse. Council Member Whilding appreciated that and the mission of TCN but he was still struggling to understand if they are coming to the property what's the responsibility for making sure they leave under the means necessary. If we are talking drug abuse problems, he did not want anybody in a situation where there is an OVI. Mr. Otto explained for someone who would come in for chemical dependency counseling, they will drug test and anybody who does test positive arrangements would be made to get them home safely. He said they walk their clients in and out of the appointments. Council Member Whilding asked what the percentage of services are self-requested versus court ordered. Mr. Otto said about 70% come in on their own and 30% court ordered. He said if this was broken down between mental health versus chemical dependency it would look a little different. He said in most cases, these people are there because they want to be and recognize that they need help. When you recognize you need help you're there for that reason. He said they work closely with the Xenia Police Department and train with them as well as the Fairborn and Beaver Creek Police. He said the crime rate is not higher where they are and they are within a half mile of Cox Elementary in Xenia. They have had no issues with people wondering over to that property. They are there to get treatment and want to get better. He said we would not be able to pick them out in a crowd. Things we hear on the news are the rare cases and thankfully we don't hear about that too much in Greene County. Council Member Whilding requested a list of service calls to his location.

Council Member Upton asked if there was any interest to this property prior to TCN. Mr. McGrath explained that staff was not aware of it until the contractual stage to purchase the building. He said at the point they explained the proposed use wasn't permitted in the existing district. Council Member Upton said this property is next to an ASRA and they are looking to extend RP-1 across the street. He stated if the applicant had decided to purchase a building that was already zoned RP-1 we would not be going through the petition process. Mr. McGrath said depending on the scope of the services that is correct. Council Member Upton said his concern would be should we decline this particular issue and going forward another business comes in and wants to be RP-1 on that

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particular lot, we have set a precedent for everybody that we are not going to be rezoning that particular plot of land.

Council Member Whilding asked what ORP-1 was. Mr. McGrath said Office Research Park. Council Member Whilding asked if that included Goddard. Mr. McGrath said that it did. He explained that Goddard was added to the ORP-1 given it would provide accessory use to some of the people in the park and was added as a permitted use in that district.

Mayor Stone said the applicant is not TCN. Mr. McGrath explained the applicant is TCN, they are an authorized agent of the current owner of the property. Mayor Stone said it comes down to two issues: should the property be rezoned to RP-1 in the neighborhood it is in regardless of the use or do we want to keep it industrial; is the use TCN proposes a permitted use in Research Park Zoning? He said some of the other issues when it comes to straight zoning are not something they can address. Research Park seems to have had few things added to it over the years from its original intent. He said tonight they have two options which is do nothing and it moves to the third reading where this body would make a decision. He said they could continue the reading two weeks from now. He said if he didn't know the use he would think this property was very appropriately positioned to be RP-1.

Council Member Upton asked if the applicant has a timeline. Mr. Otto said pending approval they would up and running late summer/early fall. A two week delay would not impact TCN.

Council Member Jarvis MOVED to continue the second reading, seconded by Council Member Upton. Motion PASSED by a roll call vote of 4-0.

Mayor Stone said the second reading will continue at the February 22<sup>nd</sup> meeting at 6:00 p.m. He said they will make a decision at that meeting whether or not to allow any further public input. He explained it will not be automatic if there will be further public input as public input was closed at this meeting.

Council recessed for 10 minutes.

**Resolution 16-04 Park Maintenance Agreement**

Clerk Lampton read a Resolution authorizing the City Manager to enter into a Park Maintenance Agreement with Beaver Creek Township and Beaver Creek Township Park District

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Mr. Thonnerieux explained this was a request to allow the City Manager to enter into a Park Maintenance Agreement where the City would provide routine maintenance and repair of park facilities in partnership with Beaver Creek Township and Beaver Creek Township Park District. He said park staff has worked hard and are excited to be before Council with the agreement. He said the agreement provides a benefit to the residents because it will provide one face to the customer. They will be able to call one agency, the city, to be able to reserve shelters, talk about parks that need maintenance, or thank park personnel for providing great service. He said they will also be able to secure additional efficiencies. He said the agreement can be terminated with one year's notice and will renew automatically. Staff recommends approval of the Resolution.

Council Member Litteral said they have been working on eliminating the duplication of services between the Township and the City. This is a collaboration between the two entities and she hoped to find more avenues.

Council Member Whilding said his inquiry about the capital purchase is still concerning. He said a single item over \$5,000 and there is no definition of what maintenance is and it is in the eye of the beholder that this point. He thinks of everything as projects and gave the example of maintaining ten park benches and they are to the point of needing to be replaced. If they are \$4,900 each, he questioned if that would be capital or maintenance. He asked by this definition what is the lessee's position on this. Mr. Thonnerieux clarified Council Member Whilding was speaking of the capital improvements and fixed assets section which talks strictly about capital improvements and fixed assets. He explained in the example Council Member Whilding gave, if the bench needed to be repaired that would be taken care of under the maintenance section. If it was going to be replaced it would fall under whoever owned that facility. He said they have a \$5,000 threshold but they also have ability each year to provide a budget schedule to the owner of the facility and a capital improvement schedule stating the increase cost of capital purchase maintenance costs. He said this agreement is truly for maintenance of the facilities and not necessarily for capital improvements. He said they set the \$5,000 limit as a benchmark. If we can repair it we will but over the long term we will suggest it be replaced. Council Member Whilding said not only the dollar figure but that would be considered a fixed asset because by law anything fixed is anchored down. He said he did not recall the term fixed asset in that section. Mr. Thonnerieux said it is section three titled Capital Improvements and Fixed Assets. Mr. McHugh said not only is the requirement of capital expenditure but the ownership of the park. He said whoever owns that park is expected to provide and pay for capital improvements of that park. He said section one is in reference to what the city will be doing and

February 8, 2016

that is routine maintenance and repair of park equipment, facilities and grounds. Council Member Whilding said 'fixed' in the title gives him confidence that this is going to work.

Council Member Jarvis asked if the Township and Township Park District had approved this. Mr. Thonnerieux said the city was the first to approve this and the others will be moving forward shortly.

Vice Mayor Vann questioned why two payments was chosen rather than four. Mr. Thonnerieux said it was something that all three parties agreed with. He said historically with the Rotary Park agreement this was the same setup and it was carried over with this agreement. Vice Mayor Vann said she would have liked it if there had been schedule of what they were going to do. She asked if there was any way to get out of the agreement after the first year if we figure out we have underbid. Mr. Thonnerieux said the contract can be terminated with a one year notice. He believed all parties would agree to discuss the terms again if something wasn't coming together. He said worst case scenario, if that failsafe didn't happen, there is the ability to terminate. Vice Mayor Vann said since this is new territory it may have been best to have a window of re-evaluation after a year. Mr. Thonnerieux said they reviewed the past five years' worth of expenses and then looked at how the city could run the park and what additional staffing would be needed. He said they feel comfortable with the costs. He said they attended the Ohio Parks and Recreation Association's conference and many across the state of looking at this type of a model for something that can be duplicated state wide because there are many agencies that have the multiple agencies at the local level servicing their community. He said this is a great first step to get us there and a great service model for the citizens.

Council Member Litteral said there is a list of what maintenance that may come up in the next two years.

Mayor Stone said anytime we can share services we are better off in the long run. He asked if this maintenance agreement supersedes that operation agreement for Rotary. Mr. Thonnerieux said this agreement will supersede the Rotary Park agreement. The city will maintain that facility and receive all the revenue from Rotary Park and be paid the 50% of operational costs that they were being paid previously. Mayor Stone liked the built in increases and will allow an automatic renewal with the increases.

Council Member Litteral MOVED to approve Resolution 16-04, seconded by Council Member Whilding. Motion PASSED by majority voice vote.

February 8, 2016

**Resolution 16-05 Authorize City Manager to Approve Tax Exempt Municipal Lease**

Clerk Lampton read a Resolution authorizing the City Manager to enter into a tax-exempt municipal lease with Fifth Third Bank to finance the purchase of various capital equipment.

Mr. Kucera said there were two pieces of capital equipment in the budget financed through a lease option. One piece is a long striper to replace the current 2001 long striper which will cost about \$245,000. The other is a spray rig at the golf course which will cost about \$65,000. He said Fifth Third was the lowest quote for a five year lease at 1.75% and the city will own the equipment at the end of the lease. To proceed, Council would need to approve the Resolution authorizing the City Manager to enter into the lease/purchase agreement with Fifth Third.

Council Member Jarvis questioned the second whereas. Mr. Kucera said it was designed for two things. The spray rig in on the state bid and the long striper had to be put out to competitive bid for a company to construct it. He said that section is combining the two things. It was decided there needed to be a comma in the section.

Mayor Stone questioned the life expectancy of the equipment if there is a five year lease. Mr. Kucera said the long striper they currently have is a 2001 and the spray rig for the golf course that is being replaced will be repurposed to the Parks Department and is an original piece of equipment when the golf course was purchased.

Council Member Jarvis MOVED to approve Resolution 16-05, seconded by Council Member Whilding. Motion PASSED by majority voice vote.

**LIQUOR PERMITS**

**Chipotle Mexican Grill of Colorado LLC DBA Chipotle Mexican Grill 2720 (New)**

Chief Evers received police notification from the Ohio Division of Liquor Control for a new D3 liquor permit for Chipotle Mexican Grill of Colorado LLC, DBA Chipotle Mexican Grill, 2544 Zink Rd., Beaver creek, Ohio 45324. The records checks required by the Ohio Department of Commerce- Division of Liquor Control were conducted on the business officers/shareholders for this application request. Staff is recommending this application request move forward with no comment.

February 8, 2016

Council Member Litteral MOVED to accept without comment, seconded by Council Member Jarvis. Motion PASSED by majority voice vote.

#### **CITY MANAGER'S REPORT**

Mr. Cornell said five weeks from tomorrow is Election Day, March 15<sup>th</sup>. He said there is a street levy issue for reconsideration. It is listed as Issue 1 and was initially approved in 1986 and has been approved every five years since. This levy will expire the end of 2016. The funds for this levy is 69% of the revenue for the street levy fund. With approval the cost is \$28 per \$100K of property value annual increase for a total cost \$107.63 per \$100k of property valuation. He said with approval of this levy Beavercreek maintains the second lowest cost of local government ranking 23 of 24 municipalities in the region. The new In Touch Newsletter will be mailed out shortly with the new format. City offices will be closed February 15<sup>th</sup> for President's Day. Council's Work Session will be held Tuesday, February 16<sup>th</sup>.

#### **MAYOR'S REPORT**

Mayor Stone attended ribbon cuttings for Bravo's and Designer Dogs. He attended the police award and the Chamber Awards. He said he rode to Hamilton to view the super street design that is being discussed at the work session.

#### **COUNCIL TIME**

Vice Mayor Vann said Clark State has a new facility for non-profit excellence. She suggested the courses be given at the Springfield and Beavercreek locations. This would include board certifications for non-profits.

Council Member Whilding attended the Family First meeting. He said the teacher loan forgiveness has changed to the public services loan forgiveness program. He would leave the information with the City Manager. Council Member Whilding reviewed the employee anniversaries. Congratulations to everyone.

#### **CITIZEN COMMENTS**

There were not citizen comments.

#### **ADJOURNMENT**

Council Member Upton MOVED to adjourn the meeting at 7:50 p.m., seconded by Council Member Jarvis. Motion PASSED by majority voice vote.

BEAVERCREEK CITY COUNCIL

REGULAR

February 8, 2016

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Bob Stone, Mayor

ATTEST:

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Dianne Lampton  
Clerk of Council  
Cmin020816

Agenda Item VI. A.  
Second Reading (con't)

## **ORDINANCE NO. 16-01**

CITY OF BEAVERCREEK

SPONSORED BY COUNCIL MEMBER WALLACE ON THE 25<sup>TH</sup> DAY OF  
JANUARY, 2016.

AN ORDINANCE AMENDING THE ZONING MAP, BY REZONING  
APPROXIMATELY 3.223 ACRES OF LAND LOCATED AT 1400  
GRANGE HALL ROAD FROM I-1 LIGHT INDUSTRIAL TO RP-1  
RESEARCH PARK DISTRICT, FURTHER DESCRIBED AS BOOK 2,  
PAGE 13, PARCEL 70. (Z-16-1).

Whereas, Lori Strobl (Agent for the Owner), 452 West Market Street, Xenia,  
OH 45385, has requested the rezoning; and

Whereas, the City of Beavercreek Planning Commission has recommended  
approval of the rezoning amendment; and

WHEREAS, the City Council has voted to adopt the recommendation of the  
Planning Commission, this being a decision that requires approval by four members  
of Council.

NOW THEREFORE THE MUNICIPALITY OF BEAVERCREEK HEREBY  
ORDAINS:

### SECTION I

That the Zoning Map referenced in §158.018 of the Zoning Code is hereby  
further amended to change approximately 3.223 acres of land, located at 1400  
Grange Hall Road, known as B42000200130007000 and as further described in the  
attached "Exhibit A" be rezoned to RP-1 Research Park District.

### SECTION II

This Ordinance shall take effect from and after the earliest period allowed by  
law.

SECTION III

It is hereby found and determined that all formal actions of this Council concerning and relating to the adoption of this ordinance were adopted in an open meeting of this Council, and that any and all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements, including, but not limited to Section 121.22 of the Ohio Revised Code.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Bob Stone, Mayor

ATTEST:

\_\_\_\_\_  
Dianne Lampton, Clerk of Council

SUMMARY

This Ordinance adopts a recommendation to rezone approximately 3.223 acres of land located at 1400 Grange Hall Road from I-1 Light Industrial to RP-1 Research Park District.

This is not an emergency ordinance and will become effective 30 days after passage.

Dear Jeff,

I wanted you and the commission to see a copy of the letter that I've sent to: Mr. Van Fleet, Lighthouse Technologies; Sean Simmons (company ?); Michael Dyer, Orbital ATK; Brian Boggs, Goddard School and Travis Greenwood, CEO of the Greentree Group. I hope some of them take me up on our offer to tour our facility! Please share this with the commission, Jeff.

My name is Lynn West and I'm CEO of TCN Behavioral Health. Whether the zoning is passed in our favor or not, I just felt that I had to correct some of the misconceptions you may have about us. At the Grange Hall building we had planned to offer mental health outpatient services to adults and kids. Yes, some outpatient substance abuse treatment but the majority of that will continue to be offered in Xenia. People come to our facilities because they have a specific appointment time, usually an hour, and there would be no need, nor would we tolerate, anyone lounging around our building. The most severe of our mentally ill clients will continue to be seen in Fairborn. While all of our facilities are very nice, clean and decorated, we recognize that Beaver Creek residents might not want to go to our Xenia facility so we wanted to make this facility nice. We will pay in excess of \$1m for the building and have budgeted over \$850,000 for renovations to make the facility comparable to any high-end medical office in Beaver Creek. None of this money, by the way, is from the levy. This is money we made the old-fashioned way....we earned it (to borrow a phrase) ☺

I urge you to talk to the Sheriff (one of our Board members) or Captain Scott Anger, Xenia PD about the order we keep. As a matter of fact, because we have facilities to house our homeless clients, you don't see people "living under the bridge" or panhandling on the streets. We treat people, we find them homes and we find them jobs.

What someone would see at our Beaver Creek office would be people looking like they're going into any physician's office. We treat people going through divorce who are depressed, teenagers who have lost a parent and are grieving, kids who have been physically or emotionally abused and on and on. Please don't mistake us for a flop house or a methadone clinic (we won't prescribe Methadone).

If you have any other questions I could answer or if you'd like to see our Xenia facility, please give me a call. My direct phone line is: 376-8715

Thanks for listening!

Lynn West, CEO

**CITY OF BEAVERCREEK  
CITY COUNCIL  
AGENDA ITEM REPORT**

*MAC 2/17/16*

<b>Meeting Date:</b> February 22, 2016	<b>Reference Topic:</b> Ordinance No. 16-03 To Approve Supplemental Appropriations and Certify Additional Revenue for the Fiscal Year Beginning January 1, 2016, and Ending December 31, 2016 and to amend ordinance 15-31.
<b>Agenda Reference No.:</b> VI. B.	

ACTION REQUESTED		
<input checked="" type="checkbox"/> Adopt Ordinance	<input type="checkbox"/> Adopt Resolution	<input type="checkbox"/> Review and Comment
<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Accept Staff Recommendation	<input type="checkbox"/> Other Motion _____

RESPONSIBLE DEPARTMENT OR AGENCY		
<input checked="" type="checkbox"/> Finance	<input type="checkbox"/> City Council	<input type="checkbox"/> Human Resources
<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Engineering/Planning	<input checked="" type="checkbox"/> Golf Course
<input checked="" type="checkbox"/> Police	<input checked="" type="checkbox"/> Public Service	<input type="checkbox"/> City Manager

**Police Grant (245)** – In 2015, the Police Department reapplied for and received two grants to reduce traffic fatal and serious injury crashes through impaired driving and selective enforcement programs. These grant programs reimburse the City for the cost of direct labor, fringe benefits and fuel costs. While preparing the 2016 budget these grants were included in the Police (202) budget. However, since these are federal grant funds they have to be accounted for and isolated in a special revenue fund. Since these funds were originally budgeted in the Police Levy fund they will be moved to the Police Grant fund (245). Therefore, the estimated grant revenue has to be certified and the reimbursable expenditures must be appropriated for the 2016 grant. Therefore, the City needs to certify the revenue (\$44,072- 245-432300 Police Grants) and appropriate the expenditures (245-52-2290-1310 Overtime)

**Street Levy Fund (203)** – During the budget process, the City had elected to enter into a tax exempt capital lease for two pieces of equipment. The first was a replacement of a 2001 Long Line Striper. Although the City budgeted for the debt service payments, per review with the City auditors the capital lease proceeds and total expenditures must also be budgeted. Therefore, in order to proceed with the process the City must certify the capital lease amount of \$211,000 (203-490980) and appropriate the total cost of the new piece of equipment (203-57-3510-4471). It should be noted the original budgeted amount for this item was \$245,000 but the RFP and subsequent bidding of this equipment came in at approximately \$211,000. Therefore, the City will modify the capital lease request to reflect the new lower amount.

**Golf Course (572)** – Similar to the scenario noted above, the City budgeted the replacement of a 2004 spray rig for the golf course. Therefore, in order to proceed with the process the City must certify the capital lease amount of \$65,000 (572-490980) and appropriate the total cost of the new piece of equipment \$65,000 (572-54-4740-7028).

**STAFF RECOMMENDATION:** Staff recommends adoption of Ordinance 16-03.

**CITY OF BEAVERCREEK, OHIO  
ORDINANCE NO. 16-03**

SPONSORED BY COUNCIL MEMBER \_\_\_\_\_ ON THE 22nd DAY OF FEBRUARY, 2016.

**TO APPROVE SUPPLEMENTAL APPROPRIATIONS AND CERTIFY ADDITIONAL REVENUE FOR THE FISCAL YEAR BEGINNING JANUARY 1, 2016, AND ENDING DECEMBER 31, 2016, AND TO AMEND ORDINANCE 15-31.**

WHEREAS, the annual appropriations for 2016 was authorized in Ordinances 15-31 and it is now the desire to supplement and amend these appropriations and to certify additional revenue, and

NOW, THEREFORE, THE CITY OF BEAVERCREEK HEREBY ORDAINS:

SECTION I.

That to provide for current expenses and other expenditures of the City of Beavercreek during said fiscal year ending December 31, 2016 and certification of additional revenue are hereby authorized, while preserving all other appropriations as previously approved.

<b>REVENUE (FUND #)</b>	<b>INCREASE REVENUE CERTIFICATIONS</b>
STREET LEVY FUND (203)	\$211,000
POLICE GRANTS (245)	\$ 44,072
GOLF COURSE (572)	\$ 65,000
TOTAL	<u>\$320,072</u>

<b>EXPENSE FUND (FUND #)</b>	<b>INCREASE APPROPRIATIONS</b>
STREET LEVY FUND (203)	\$211,000
POLICE GRANTS (245)	\$ 44,072
GOLF COURSE (572)	\$ 65,000
TOTAL	<u>\$320,072</u>

SECTION II

In order to conform to the amendments detailed in Section I with the schedule of 2016 annual appropriations previously approved, the Financial Administrative Services Director is hereby directed to prepare and certify a restatement of annual appropriations reflecting all approved appropriations, and certified revenue.

SECTION III.

It is hereby found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council, and that any and all deliberations of this Council and any of its committees that resulted in such formal

action were in meetings open to the public, in compliance with all legal requirements, including, but not limited to, Section 121.22 of the Ohio Revised Code.

SECTION IV.

This supplement to the Annual Appropriations Ordinance and certification of revenue shall take effect upon adoption, in accordance with Sections 10.04 and 10.10 of the Beavercreek City Charter.

PASSED this 22nd day of February, 2016.

\_\_\_\_\_  
Bob Stone, Mayor

ATTEST:

\_\_\_\_\_  
Dianne Lampton, Clerk of Council

**ORD 16-03**

SUMMARY

An Ordinance to approve supplemental appropriations and certifying additional revenue for the Fiscal Year ending December 31, 2016

This is a supplement to the Annual Appropriation Ordinance and in accordance with Sections 10.04 and 10.10 of the Beavercreek City Charter will become effective immediately upon its passage.

**CITY OF BEAVERCREEK  
CITY COUNCIL  
AGENDA ITEM REPORT**

*MX 21716*

<b>Meeting Date:</b> February 22, 2016 <b>Agenda Reference No.:</b> VII. A-E	<b>Reference Topic:</b> PUD 93-4 Amend 1/16 Ashton Brook Phase 5 Ordinance 16-02
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<b>ACTION REQUESTED</b>		
<input checked="" type="checkbox"/> Adopt Ordinance	<input type="checkbox"/> Adopt Resolution	<input type="checkbox"/> Review and Comment
<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Accept Staff Recommendation	<input type="checkbox"/> Adopt Motion

<b>RESPONSIBLE DEPARTMENT OR AGENCY</b>		
<input type="checkbox"/> Finance	<input type="checkbox"/> City Council	<input type="checkbox"/> Law
<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Engineering	<input checked="" type="checkbox"/> Planning & Zoning
<input type="checkbox"/> Police	<input type="checkbox"/> Public Service	<input type="checkbox"/> City Manager
<input type="checkbox"/> Clerk of Council	<input type="checkbox"/> Human Resources	<input type="checkbox"/> Other _____

**BACKGROUND AND STAFF SUMMARY:**

The applicant is requesting an amendment to the existing MX-PUD to increase the permitted number of multi-family residential housing units from 380 to a maximum of 412 units to allow for the construction of 32 additional multi-family units.

**STAFF RECOMMENDATION:**

Planning Commission and staff recommend approval of this request as described in the attached ordinance. See staff report for further details.

**PROCEDURAL OPTIONS FOLLOWING ACTION:**

City Council may choose to approve, disapprove, modify or table this action for further review.

## ORDINANCE NO. 16-02

CITY OF BEAVERCREEK

SPONSORED BY COUNCIL MEMBER \_\_\_\_\_ ON  
THE 22<sup>ND</sup> DAY OF FEBRUARY, 2016.

AN ORDINANCE AMENDING ORDINANCE #09-34 REZONING AND CONCEPT PLAN (PUD 93-4) TO CONSTRUCT 32 MULTI-FAMILY RESIDENTIAL UNITS ON THE NORTH SIDE OF LILLIAN LANE, SOUTH OF I-675. THIS PROPERTY IS FURTHER DESCRIBED AS BOOK 4, PAGE 2, PARCEL 24 ON THE GREENE COUNTY PROPERTY TAX ATLAS. (PUD 93-4, AMENDMENT 1/16)

Whereas, Randall Woodings, 400 South Fifth Street, Suite 400, Columbus OH 43215, (Agent for the owner) has filed an application requesting approval of an amendment to PUD 93-4 rezoning and concept plan; and

Whereas, the City of Beavercreek Planning Commission has recommended approval of the zoning amendment with conditions and requirements; and

WHEREAS, Beavercreek City Council finds that the facts submitted with the application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Planned Unit Development approval as per in §158.065 and §158.073 of the Zoning Code; and

WHEREAS, Beavercreek City Council finds that, pursuant to §158.073 of the Zoning Code, each and all of the excluded uses are inappropriate for this specific Planned Unit Development; and

WHEREAS, Beavercreek City Council has voted to adopt the recommendation of the Planning Commission with modifications, this being a decision that requires approval by four members of Council.

NOW THEREFORE THE MUNICIPALITY OF BEAVERCREEK HEREBY ORDAINS:

### SECTION I

That the Zoning Map referenced in §158.018 of the Zoning Code is hereby further amended to allow construction of 32 multi-family residential units on the north side of Lillian Lane, south of I-675 and as further described in the attached Exhibit A.

## SECTION II

The following conditions and requirements shall apply:

1. All conditions of PUD 93-4 remain in full force and effect except where modified herein.
2. Condition #2 of Ordinance 09-34, Condition #3 of Ordinance 08-26, Condition #3 of Ordinance 02-3 and Condition B of Ordinance 93-66 are all hereby amended and the total square footage of buildings and structures allowed to be constructed in the MX-PUD development shall not exceed the following: 1. Retail/Commercial/Restaurant/Financial, 420,000 square feet; 2. Hotel/Hospitality/Office Development, 67,500 square feet; and 3. Multi-Family Residential, 412 dwelling units.
3. All new residential dwelling units at a maximum density of 9.5 dwelling units per acre, not to exceed 32 units, must be located on the north side of Lillian Lane within the 3.33-acre parcel, as shown on the Concept Plan, stamped "Received January 7, 2016.
4. All buildings and accessory structures shall be set back a minimum of 30 feet from Lillian Lane.

## SECTION III

It is hereby found and determined that all formal actions of this Council concerning and relating to the adoption of this ordinance were adopted in an open meeting of this Council, and that any and all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements, including, but not limited to Section 121.22 of the Ohio Revised Code.

## SECTION IV

This Ordinance shall take effect from and after the earliest period allowed by law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Bob Stone, Mayor

ATTEST:

\_\_\_\_\_  
Dianne Lampton, Clerk of Council

## SUMMARY

This Ordinance adopts a recommendation to amend Ordinance #09-34 to construct 32 multi-family residential units on the north side of Lillian Lane, south of I-675.

This is not an emergency ordinance and will become effective 30 days after passage.

PUD 93-4 Amend 1-16 Ashton Brook 5 Ord

# CITY OF BEAVERCREEK STAFF REPORT

February 16, 2016

**PROJECT:** Ashton Brooke Phase Five

**CASE NO.:** MX-PUD 93-4 Amendment 1/16

**APPLICANT:** Randall Woodings (Agent for Owner)  
400 South Fifth St.  
Suite 400  
Columbus, OH 43215

## REQUEST

The applicant is requesting an amendment to the existing MX-PUD to increase the permitted number of multi-family residential housing units from 380 to a maximum of 412 units to allow for the construction of 32 additional multi-family units.

## DISCUSSION

### Existing Zoning

This property is zoned as a Mixed-Use PUD, which allows for a mix of residential and non-residential uses. When the property was first zoned in 1993, the regulations limited the PUD to 386,000 square feet of retail, 490,000 square feet of office and 300 units of multi-family residential. Over the last 24 years, the PUD has been amended three times. The first time the PUD was amended was in 2002, and the change increased the allowed square footage of retail by 34,000 square feet (up to 420,000 square feet) and decreased the allowed square footage of office by 47,000 square feet (down to 443,000 square feet), with no change to the number of multi-family residential units. The second time the PUD was amended was in June of 2008 which decreased the allowed square footage of office by 67,500 square feet (down to 375,500 square feet) and added in hotel/hospitality as an allowed use, up to 67,500 square feet. The total square footage of retail, nor the number of multi-family residential units were affected by the second amendment. The third time this MX-PUD was amended, in 2009, was to increase the number of allowed apartment units from 300 to 380 units while combining the amount of office/hospitality square footage to 67,500 square feet, thereby eliminating 375,000 square feet of potential building. The total retail square footage was not affected by the third amendment.

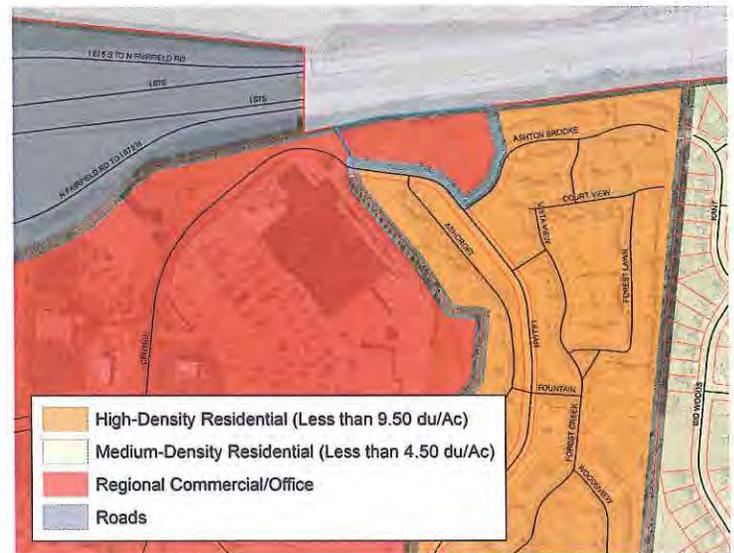
## Existing Conditions

Currently, MX-PUD 93-4 has 350,602 square feet of commercial/retail floor area and 380 multi-family housing units on 87 acres, and no office development. The retail portion of the site, as noted in Exhibit A, incorporates the western half of the PUD, while the multi-family residential incorporates the eastern half of the PUD. The 3.33 acres of vacant land, between Lillian Lane and I-675 is the area where the applicant is proposing to expand Ashton Brook Apartments into Phase 5. This 3.33 acre area was amended in 2008 to allow for the construction of a 67,500 square foot hotel, but is now proposing a new amendment to allow for 32 additional units.

## Land Use Plan

As noted on the Land Use Map to the right, the 3.33 acre area of the MX-PUD is designated mostly as Regional Commercial (red), however is also a transitional area between the High Density Residential to the east and south, and the Regional Commercial area to the west. Verbiage in the Land Use Plan specifically states,

*“Boundaries between land use categories as shown on the Land Use Plan Map are not intended to be precise locations and Planning Commission may determine that a proposed development is in compliance with the Land Use Plan even though the development does not mirror the land use category boundaries shown on the Land Use Map.”*



Given the property's isolation from I-675, and its location relative to the retail to the west, this area is a natural extension of the existing high density residential and therefore, it is staff's opinion this is one of the instances where it is appropriate for Planning Commission to use its discretion that the request is compliant with the Land Use Plan, and Planning Commission agreed.

When looking at the MX-PUD in general, in context of the Land Use Map, it is obvious that the intent of this portion of the PUD was to act as a transition area between the intense commercial use along North Fairfield Road, and the lower intense medium density residential to the east of the PUD. The proposed amendment is compatible with that intent.

**Proposed Changes**

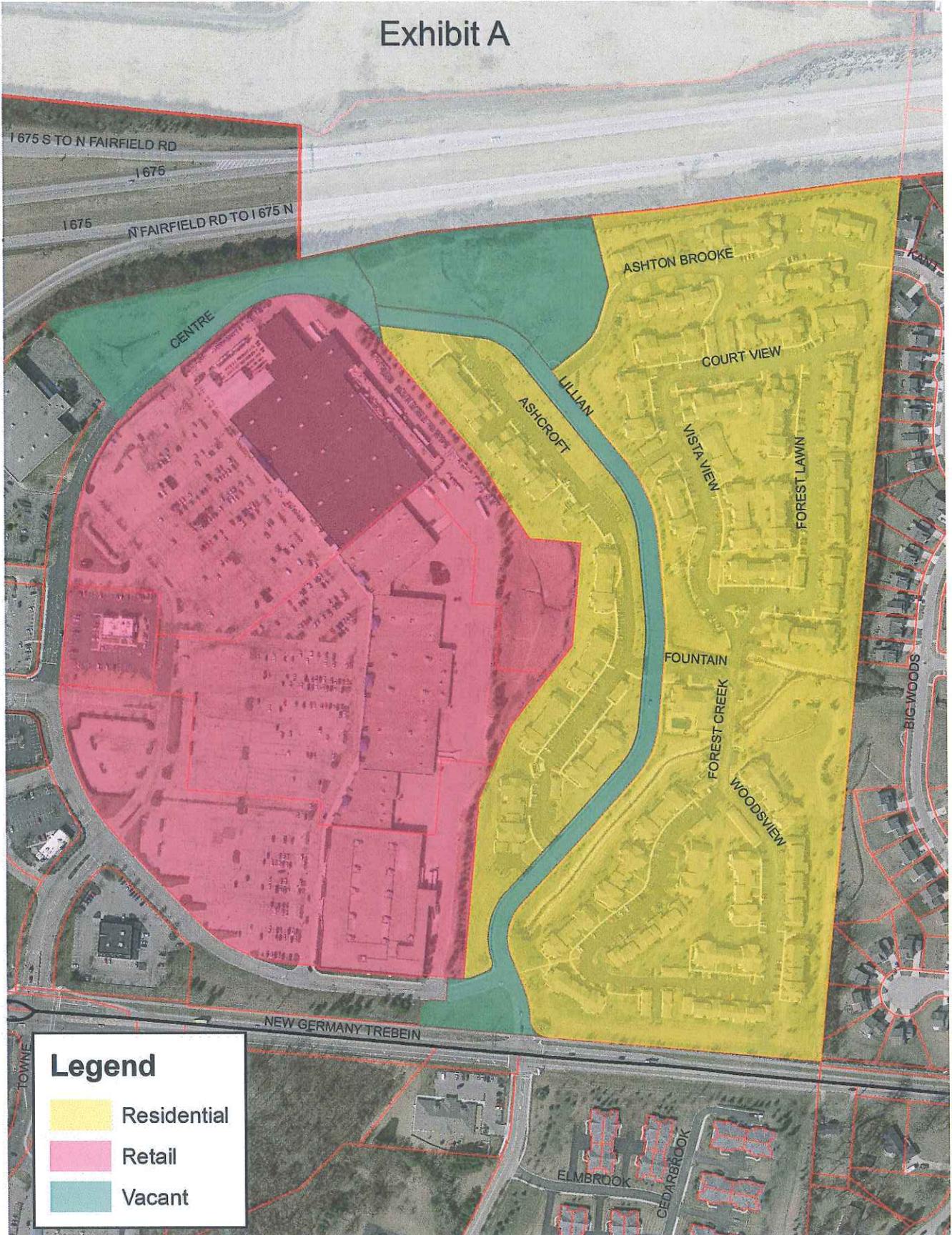
As noted in the attached Resolution, this Amendment proposes to increase the maximum number of allowed multi-family residential housing units to 412 (from a current maximum of 380). If the 32 units are built, they bring the overall density of the High Density Residential of the PUD to 9.43 dwelling units per acre (412 units on 43.676 acres). No changes to the overall square footage to retail or Office/Hotel/Hospitality are proposed.

<u>Current Category</u>	<u>Current Limitations</u>	<u>Proposed Limitations</u>
Retail/Commercial/ Restaurant/Financial	420,000 square feet	420,000 square feet
Multi-Family Residential	380 units	412 units
Office/Hotel/Hospitality	67,500 square feet	67,500 square feet

**Recommendation**

Based on this analysis, Planning Commission and staff recommend approval of this request subject to the conditions outlined in the attached Resolution.

# Exhibit A



# RESOLUTION

CITY OF BEAVERCREEK  
PLANNING COMMISSION  
February 3, 2016

RE: PUD 93-4 Amendment 1/16  
Ashton Brooke, Phase 5  
Beavercreek Towne Centre

WHEREAS, Randall Woodings (Agent for owner), 400 South Fifth Street, Suite 400, Columbus OH 43215, has filed an application requesting approval of an amendment to Ordinance 09-34 to construct 32 multi-family residential units on the north side of Lillian Lane south of I-675. This property is further described as Book 4, Page 2, Parcel 24 on the property tax maps of Greene County, Ohio; and

WHEREAS, public hearing was held on February 3, 2016 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Planning Commission finds that the facts submitted with this application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Planned Unit Development approval as per §158.073 of the Zoning Code.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission recommends to the Beavercreek City Council:

## SECTION I

1. All conditions of PUD 93-4 remain in full force and effect except where modified herein.
2. Condition #2 of Ordinance 09-34, Condition #3 of Ordinance 08-26, Condition #3 of Ordinance 02-3 and Condition B of Ordinance 93-66 are all hereby amended and the total square footage of buildings and structures allowed to be constructed in the MX-PUD development shall not exceed the following: 1. Retail/Commercial/Restaurant/Financial, 420,000 square feet; 2. Hotel/Hospitality/Office Development, 67,500 square feet; 3. Multi-family residential, 412 dwelling units.
3. All new residential dwelling units at a maximum density of 9.5 dwelling units per acres, not to exceed 32 units, must be located on the north side of Lillian Ln.

within the 3.33 acre parcel, as shown on the Concept Plan, stamped "Received January 7, 2016".

4. All buildings and accessory structures shall be set back a minimum of 30' from Lillian Ln.

SECTION II

These plans and all papers relating to the approved plan shall be submitted with this Resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED: February 3, 2016

VOTING FOR ADOPTION: Daniel Archibald  
Chuck Curran  
Troy Erbes

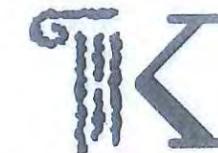
VOTING AGAINST: None

ABSENT: Michael Self

\_\_\_\_\_  
Chairman

Attest:  
\_\_\_\_\_

PUD 93-4 Amend 1-16 Ashton Brooke Resolution



KONTOGIANNIS & ASSOCIATES

ARCHITECTURE  
PLANNING  
DESIGN

400 SOUTH FIFTH ST  
SUITE 400  
COLUMBUS, OHIO  
43215-5492

PHONE: 614-224-2083  
FAX: 614-224-4736  
E-MAIL: architects@kontogiannis.com

PROJECT:

THE  
CROSSINGS  
AT FAIRFIELD  
PUD 93-4  
(LOT 4)  
ASHTON  
BROOK  
PHASE FIVE

CITY OF BEAVERCREEK  
GREENE COUNTY, OHIO

DRAWING TITLE:  
SCHEMATIC  
SITE PLAN

DATE: 01/05/2016  
REVISED:

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EXPIRATION DATE 12/31/2017  
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- ZONING SET
- BID SET
- PERMIT SET
- CONSTRUCTION SET

SP-1



**SCHEMATIC SITE PLAN**

SCALE: 1" = 40'-0"

**ASHTON BROOK  
PHASE FIVE**

32 ONE BEDROOM UNITS

PARKING REQUIRED: 71 SPACES  
9 X 20 SPACES  
25'-0" DRIVE

PARKING PROVIDED: 71 SPACES

DENSITY: 32/3.332 ACRES = 9.60 UNITS / ACRE

CURRENT ZONING: PUD 93-4 HOSPITALITY

**EXISTING LAND USE:**

THE CROSSINGS AT FAIRFIELD  
PUD 93-4  
(LOT 4)

HOSPITALITY/ 116 UNIT  
4 & 5 STORY HOTEL  
CURRENT LOT 4 IS VACANT

**PROPOSED LAND USE:**

16 UNITS / BLDG. / TWO - 2 STORY APARTMENT BUILDINGS  
32 TOTAL UNITS  
ONE BEDROOM UNITS

APPROX. PROPOSED BUILDING SQ. FT.  
2 BUILDINGS X 13,800 = 27,200 SQ. FT.

GENERAL NOTE:  
01 ALL LANDSCAPING + BUFFERS  
TO MEET CITY OF BEAVERCREEK  
ZONING STANDARDS.  
02 TRASH ENCLOSURE TO MEET CITY  
OF BEAVERCREEK SCREENING  
STANDARDS.

RECEIVED

JAN 07 2016

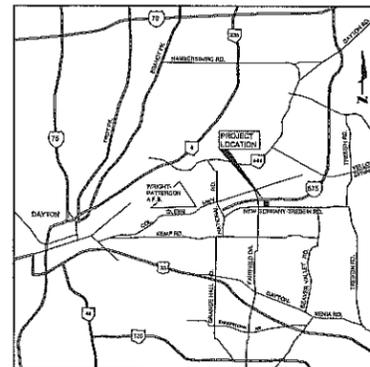
CITY OF BEAVERCREEK  
PLANNING DEPARTMENT

# ASHTON BROOK PHASE FIVE

THE CROSSINGS AT FAIRFIELD  
PUD 93-4  
(LOT 4)

## LIST OF DRAWINGS

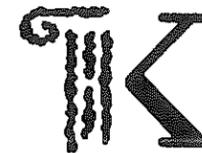
NO.	SHEET	TITLE
1.	COVER	COVER SHEET
2.	SP-1	SCHEMATIC SITE PLAN
3.	SP-2	PUD SITE PLAN
4.	SS-1	MX-PUD PROPERTY DESCRIPTION
5.	SS-2	SPECIFIC SITE SURVEY
6.	SU-1	PUD SITE UTILITIES



VICINITY MAP  
NO SCALE

### ENGINEERS:

**BRH Group, Inc.**  
444 SOUTH FRONT ST  
COLUMBUS, OH 43215  
PHONE: (614) 220-9122  
FAX: 614-572-0446



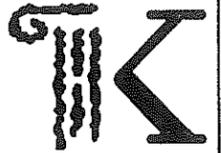
**KONTOGIANNIS & ASSOCIATES**  
ARCHITECTURE PLANNING DESIGN  
400 SOUTH FIFTH STREET SUITE 400  
COLUMBUS, OHIO 43215-5492  
PHONE: 614-224-2083 FAX: 614-224-4736  
E-MAIL: architects@kontogiannis.com

ZONING SET 01/06/2018  
BID SET  
PERMIT SET  
CONSTRUCTION SET



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ARCHITECTURE  
PLANNING  
DESIGN

400 SOUTH FIFTH ST  
SUITE 400  
COLUMBUS, OHIO  
43215-5492

PHONE: 614-224-2083  
FAX: 614-224-4736  
E-MAIL: [architects@kontogiannis.com](mailto:architects@kontogiannis.com)

PROJECT:

**THE  
CROSSINGS  
AT FAIRFIELD  
PUD 93-4  
(LOT 4)  
ASHTON  
BROOK  
PHASE FIVE**

CITY OF BEAVERCREEK  
GREENE COUNTY, OHIO

DRAWING TITLE:

**PUD SITE  
UTILITIES**

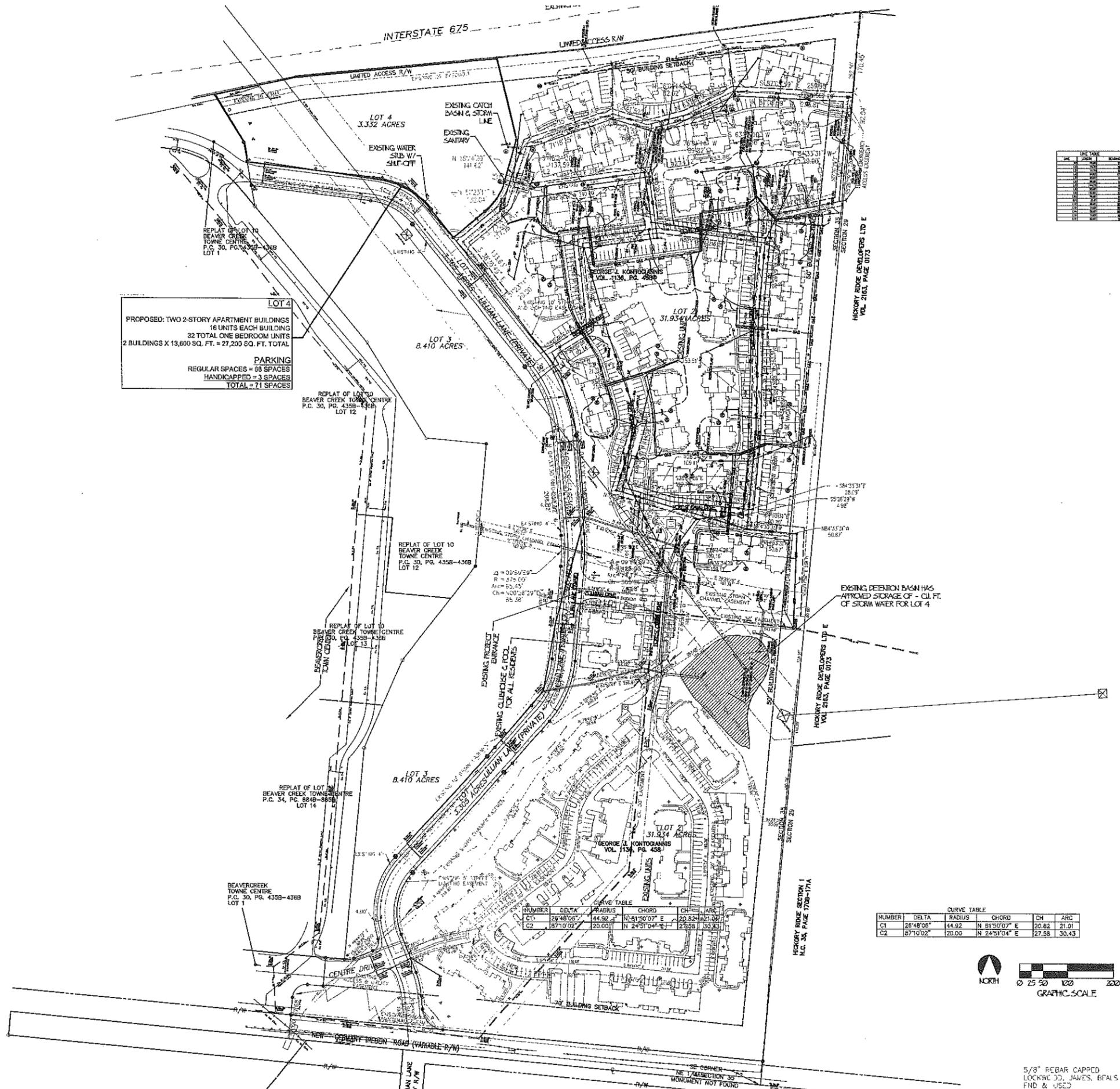
DATE: 01/06/2016  
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- BID SET
- CONSTRUCTION SET

**SU-1**





**KONTOGIANNIS  
& ASSOCIATES**

ARCHITECTURE  
PLANNING  
DESIGN

400 SOUTH FIFTH ST  
SUITE 400  
COLUMBUS, OHIO  
43215-5492

PHONE: 614-224-2083  
FAX: 614-224-4735  
E-MAIL: architects@kontogiannis.com

PROJECT:

**THE  
CROSSINGS  
AT FAIRFIELD  
PUD 93-4  
(LOT 4)  
ASHTON  
BROOK  
PHASE FIVE**

CITY OF BEAVERCREEK  
GREENE COUNTY, OHIO

DRAWING TITLE:

**SPECIFIC SITE  
SURVEY**

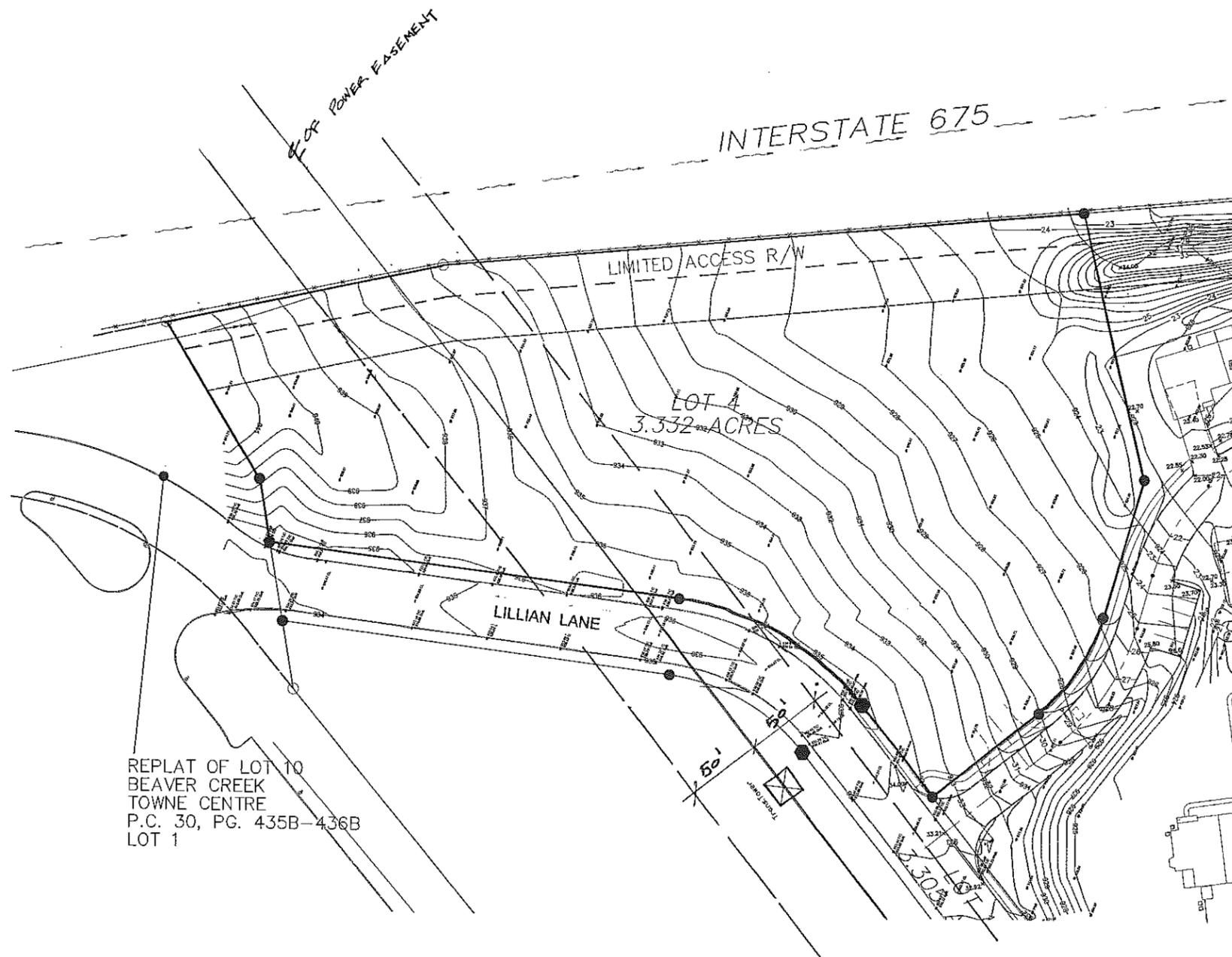
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EXPIRATION DATE 12/31/2017

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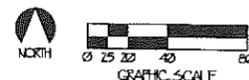
- DESIGN SET
- ZONING SET
- BID SET
- CONSTRUCTION SET

**SS-2**



REPLAT OF LOT 10  
BEAVER CREEK  
TOWNE CENTRE  
P.C. 30, PG. 435B-436B  
LOT 1

**SPECIFIC SITE SURVEY**  
SCALE: 1" = 40'





**KONTOGIANNIS & ASSOCIATES**

ARCHITECTURE  
PLANNING  
DESIGN

400 SOUTH FIFTH ST  
SUITE 400  
COLUMBUS, OHIO  
43215-5492

PHONE: 614-224-2083  
FAX: 614-224-4730  
E-MAIL: architects@kontogiannis.com

PROJECT:

**THE CROSSINGS  
AT FAIRFIELD  
PUD 93-4  
(LOT 4)  
ASHTON  
BROOK  
PHASE FIVE**

CITY OF BEAVERCREEK  
GREENE COUNTY, OHIO

DRAWING TITLE:

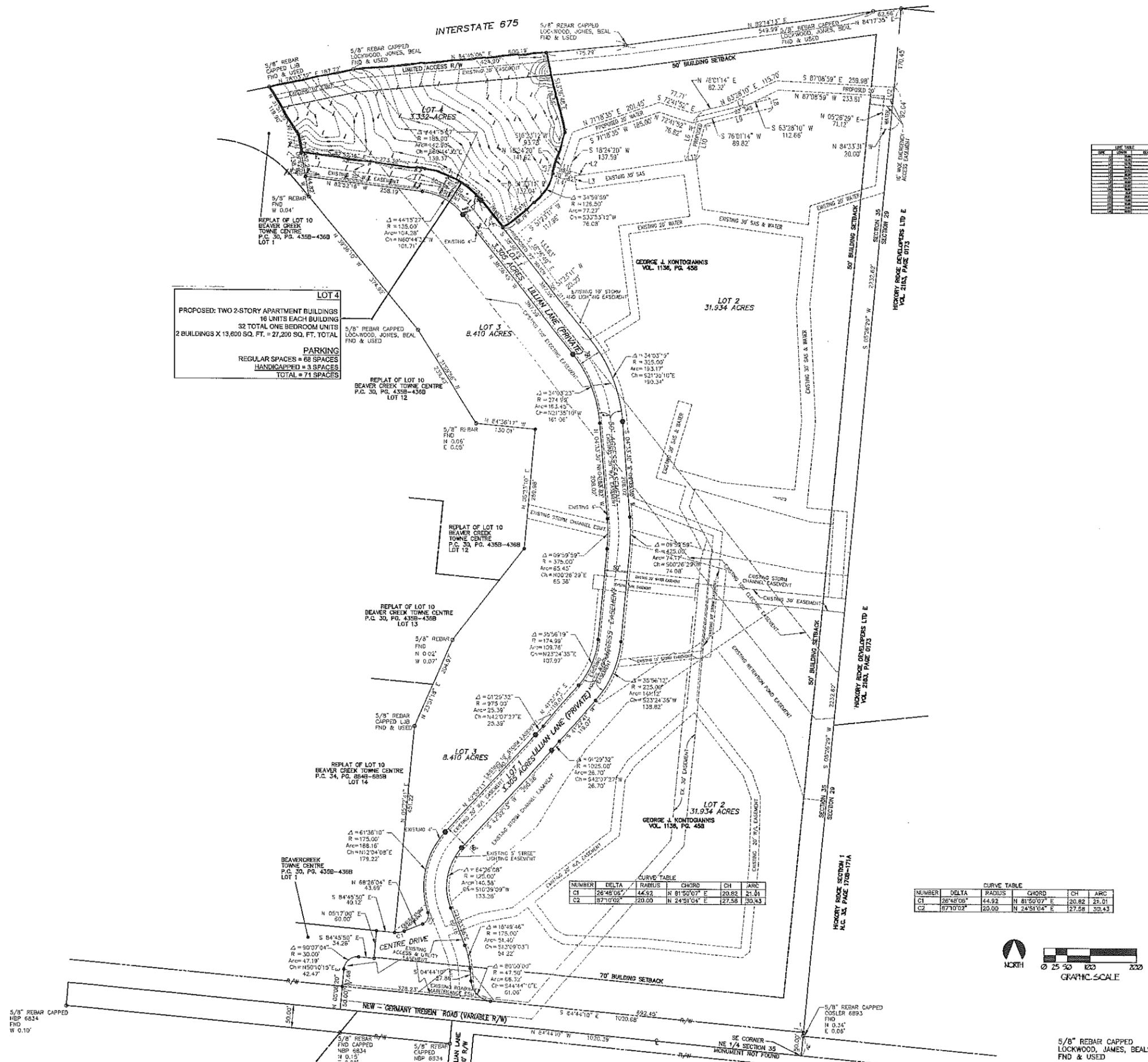
**MX-PUD  
PROPERTY  
DESCRIPTION**

DATE: 01/05/2016  
REVISED:

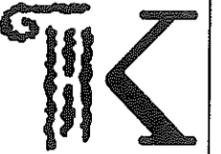
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- BID SET
- CONSTRUCTION SET

**SS-1**



1/6/2016 10:34:07 AM, lmdajlg



**KONTOGIANNIS & ASSOCIATES**

ARCHITECTURE  
PLANNING  
DESIGN

400 SOUTH FIFTH ST  
SUITE 400  
COLUMBUS, OHIO  
43215-5492

PHONE: 614-224-2083  
FAX: 614-224-4739  
E-MAIL: architects@kontogiannis.com

PROJECT:

**THE CROSSINGS  
AT FAIRFIELD  
PUD 93-4  
(LOT 4)  
ASHTON  
BROOK  
PHASE FIVE**

CITY OF BEAVERCREEK  
GREENE COUNTY, OHIO

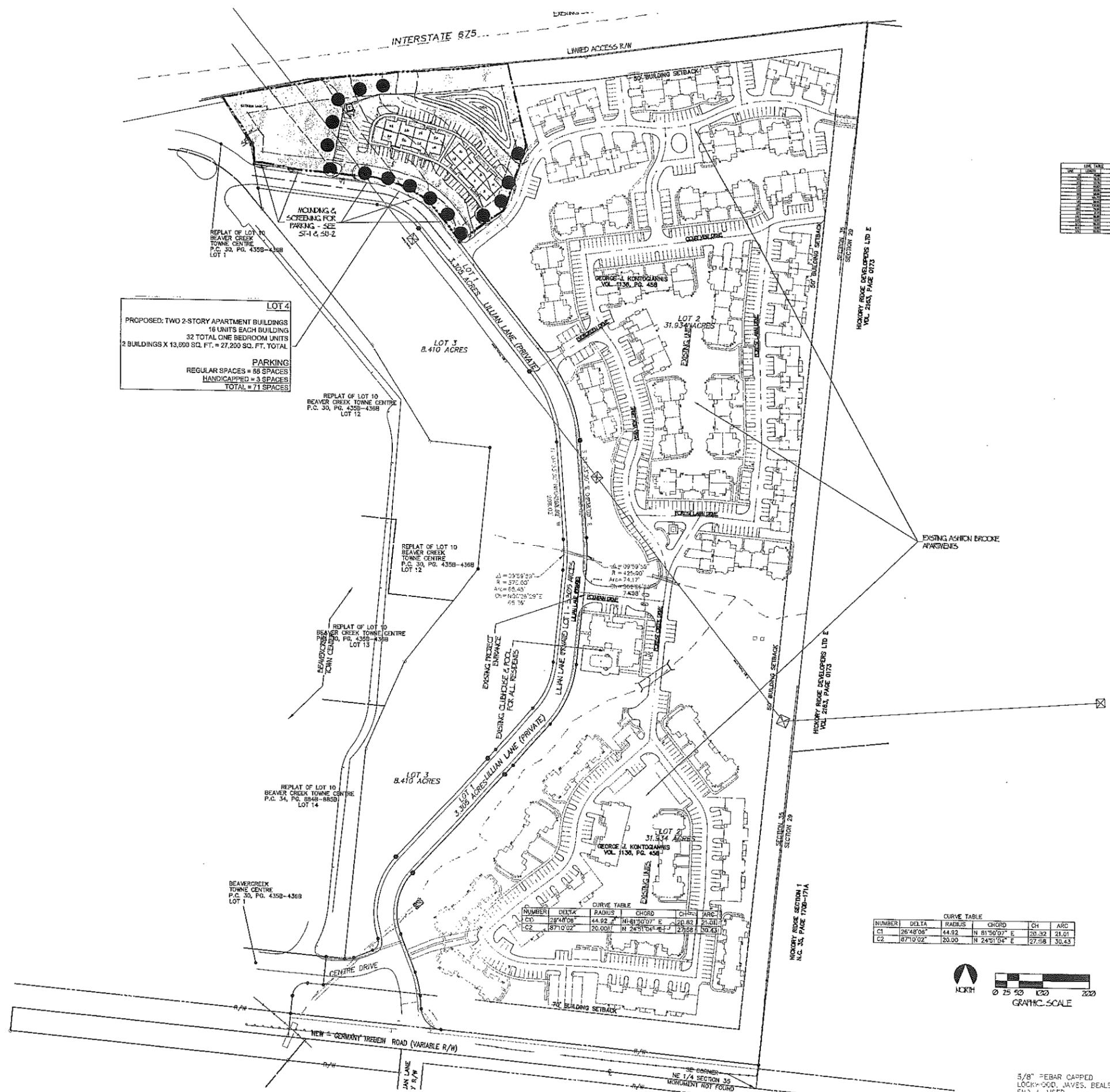
DRAWING TITLE:  
**PUD SITE PLAN**

DATE: 01/05/2016  
REVISED:

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EXPIRATION DATE: 12/31/2017  
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- ZONING SET
- BID SET
- CONSTRUCTION SET

**SP-2**



**CITY OF BEAVERCREEK  
CITY COUNCIL  
AGENDA ITEM REPORT**

*MAC 2/17/16*

<b>Meeting Date:</b> February 22, 2016	<b>Reference Topic:</b> PUD 15-3 SSP #1
<b>Agenda Reference No.:</b> VIII. A-E	AAA Bob Sumerel Tire Motion

<b>ACTION REQUESTED</b>		
<input type="checkbox"/> Adopt Ordinance	<input type="checkbox"/> Adopt Resolution	<input type="checkbox"/> Review and Comment
<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Accept Staff Recommendation	<input checked="" type="checkbox"/> Adopt Motion

<b>RESPONSIBLE DEPARTMENT OR AGENCY</b>		
<input type="checkbox"/> Finance	<input type="checkbox"/> City Council	<input type="checkbox"/> Law
<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Engineering	<input checked="" type="checkbox"/> Planning & Zoning
<input type="checkbox"/> Police	<input type="checkbox"/> Public Service	<input type="checkbox"/> City Manager
<input type="checkbox"/> Clerk of Council	<input type="checkbox"/> Human Resources	<input type="checkbox"/> Other _____

**BACKGROUND AND STAFF SUMMARY:**

The applicant is requesting approval of a specific site plan to allow for the construction of a 9,100 square foot combined AAA Travel and Insurance/AAA Tire and Auto Care Store on 1.61 acres. The property is located on the south side of Dayton-Xenia Road, approximately 100 feet west of the intersection of North Fairfield Road and Dayton-Xenia Road.

**STAFF RECOMMENDATION:**

Planning Commission and staff recommend approval of this request as described in the attached motion. See staff report for further details.

**PROCEDURAL OPTIONS FOLLOWING ACTION:**

City Council may choose to approve, disapprove, modify or table this action for further review.

February 22, 2016

MOTION TO APPROVE  
AAA-BOB SUMEREL TIRE, SPECIFIC SITE PLAN  
PUD 15-3, SSP #1

"I move, for the purpose of taking administrative action, approval of a Specific Site Plan for AAA-Bob Sumere! Tire, PUD 15-3, SSP #1, on the basis that City Council finds the facts submitted with the application and accompanying materials, and modifications, amendments and supplementary conditions satisfy the standards and criteria for a PUD Specific Site Plan approval as per §158.066 of the Zoning Code. Supplementary conditions required of this approval shall be as follows. I further move that this motion with all conditions be fully recorded in the minutes of this Council meeting."

1. The approved site plan and architectural elevations shall be the plans dated "Received January 27, 2016" except as modified herein.
2. A PUD Agreement must be signed by the owner and a bond or letter of credit for the site landscaping must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
3. The final landscape plan shall be reviewed and approved by the Planning Department prior to the release of a zoning permit for the building. The final landscape plan shall include landscaping around the perimeter of the northern portion of the building, subject to review by the Planning Department.
4. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally installed, within three months weather permitting.
5. Any portion of the site disturbed by grading or by the removal of former structures and/or pervious surfaces and on which no construction occurs within three months after completion of the site grading, shall be planted with appropriate ground cover and properly maintained. Such areas shall be shown as part of the final landscape plan.
6. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including the storm drainage facilities. The City reserves the right to require more frequent collection as necessary.

7. All building mechanical equipment is to be screened from all directions with architectural features (roof forms or parapet walls) on each building. Metal screening will not be accepted. Pad mounted equipment must be screened with landscaping and/or masonry walls and shall not be visible to the public.
8. Gutters and downspouts shall not be visible on any elevation of the building. They shall be internally mounted
9. Prior to the issuance of a zoning permit, final cut sheet details and photometric plans for lighting of the site shall be reviewed and approved by the Planning Department. Maximum mounting height for any parking fixture shall be 16 feet (including the concrete base), and no pole shall be located in the paved area of the parking field. All light fixtures and related illumination of the site must meet the conditions outlined in the Zoning Code. Lights in the parking lot shall be reduced to no greater than 25 percent illumination level within one hour of closing.
10. Final topography and grading plans shall be submitted for review and approval by the City Engineer prior to the issuance of a site-grading or zoning permit.
11. Final drainage calculations shall be approved by the City Engineer prior to the release of the record plan for recording.
12. Exterior construction hours for the site shall be limited to 7:00 a.m. to 7:00 p.m. Monday thru Saturday.
13. Temporary parking blocks shall be added to the easternmost parking spaces until the eastern portion of the PUD is developed.
14. All man-doors, service doors and loading dock doors shall be painted to match the color of the building as to blend in with the proposed façade.
15. Any split-face block, EIFS, or concrete masonry unit block will be of integral color and not a material that is painted on the outside only
16. No vehicles shall be parked outside of the building overnight or for long-term parking on the weekends.
17. The ground sign, which shall include a minimum 1-foot tall, brick and/or stone base, shall be a maximum of 5 feet tall and have a maximum 32 square feet per sign face. The final design and location shall be subject to review and approval by the Planning Department prior to release of a permit for the sign. Any ground sign shall be set in a base that shall be constructed of the same

brick as used to construct the principal structure.

18. All wall signs shall be individually mounted channel letters or panels. No raceways shall be permitted. The sizes of the signs shall be limited to the sizes shown on the approved architectural elevations. The final design and location shall be reviewed and approved by the Planning Department prior to the release of the sign permit.
19. All trash collection containers shall be screened from view and enclosed within a permanent dumpster enclosure or stored completely within the building. Any dumpster enclosure shall be constructed of the same materials as the primary building and have a closable, lockable gate. The final design of the dumpster enclosure shall be reviewed and approved by the Planning and Zoning Department prior to the issuance of any zoning permits.
20. Delivery hours for the site shall be limited to 7:00 a.m. to 7:00 p.m. Monday thru Saturday.

# CITY OF BEAVERCREEK STAFF REPORT

February 16, 2016

**PROJECT:** AAA Bob Sumerel Tire

**CASE NO.:** PUD 15-3 SSP#1

**APPLICANT:** Peter Joseph (Agent for Owner)  
15 West Central Parkway  
Cincinnati, Ohio 45202

## REQUEST

The applicant is requesting approval of a specific site plan to allow for the construction of a 9,100 square foot combined AAA Travel and Insurance/AAA Tire and Auto Care Store on 1.61 acres. The property is located on the south side of Dayton-Xenia Road, approximately 100 feet west of the intersection of North Fairfield Road and Dayton-Xenia Road.

## ANALYSIS

### Existing Site Conditions

This site has had a long history of several different restaurants, including the most recent, Woody's BBQ, located in the 3050 square foot structure. The site has two full access points and several parking spaces. Should this site plan be approved, it is the applicant's intent to demo the building and parking areas.



**Surrounding Zoning and Uses**

This property was rezoned from B2 and R-1A to C-PUD 15-3 in July of last year. The rezoning also created a 50-foot buffer area between this property and the residential property to the southwest. All building/parking lot setbacks, as well as all buffer requirements have been met. As noted on the picture above, this buffer area will further separate the non-residential use from the residential use. Minor vehicular repair and insurance offices are a permitted use within this PUD.

The surrounding zoning and uses are as follows:

Direction	Surrounding Zoning	Surrounding Use
North	B2	Retail (CVS)
South	R-1A, PUD 88-3	Single Family Residential and multi-tenant retail
East	ROW, B2	North Fairfield Road, Former Friendly's Restaurant
West	B2	Multi-tenant professional offices

**Building Design**

The applicant is proposing the construction of a one-story, flat roofed building, 26.28 feet tall on the north end and 22.9 feet tall on the south end. The proposed building will be 9,100 square feet measuring approximately 65 feet wide and 140 feet long.

The majority of the building will be constructed of red brick. The decorative cornice and cap on the top of the each of the four elevations will be constructed of grey EIFS. Wrapping of the base of the entire building is 3-foot, grey split faced block base, capped by a grey cast stone sill. On the western and eastern elevations, approximately 48 feet back from the front of the building, are four insulated overhead doors. The three northernmost doors are 11 feet tall, and the southernmost door is 13 feet tall. Metal service doors are proposed on both the western and eastern elevations. Staff has added a condition that they be painted to match the surrounding brick. Additionally, staff has added a condition that all downspouts/scuppers be internal.

The main entrance to the building will be the northern elevation. Above the double entrance doors is a white metal canopy, and a semi-arched white EIFS entry accent feature, which will extend approximately 31 feet high. This same entry semi-arched feature and canopy is proposed on the northern end of the eastern elevation.

Included in your packet, overlaid on the site plan, is the floor plan of the proposed building. The floorplans show that the office portion of the building, approximately 2,900 square feet, will be the northern third of the building. The central portion of the building will house the auto service and tire replacement and will be approximately 4,500 square feet. The southern

1,700 square feet of the building will be used for storage and the technician's office.

The proposed dumpster for the site will be located to the southwest of the building. It is shown as being screened with an enclosure and a closable gate. Per condition #19, the dumpster enclosure shall be constructed of the same brick/split face block as the primary building.

### **Access and Transportation Improvements**

The applicant is proposing to maintain the two existing access points to the site. The main entrance will be along the western edge of the PUD and will be a full access point. The secondary access, which will be a right-in, right-out only access point, as required by the rezoning, will be toward the center of the PUD, just to the east of the proposed building. The applicant has expressed the desire that this secondary access point be full in, right out only. However with the proximity to the intersection of Dayton-Xenia Road/North Fairfield Road, as well as the lack of an appropriate turning lane in front of the access point, staff is continuing to recommend right-in, right-out only at this location. Appropriate curbing has been shown at this entrance to ensure compliance with the rezoning ordinance.

### **Utilities**

Water and Sewer services are available to this site.

### **Stormwater Management**

Since this is currently a developed lot, and there will be an increase in the amount of impervious surface to the site, the applicant is required, by ordinance, to detain any additional stormwater runoff generated by the redevelopment of this site. The stormwater management/grading plan shows that the applicant is proposing to construct a detention pond, or dry pond, in the southwest corner of the property. Prior to the release of a zoning permit, the Engineering Department will review and approve the final stormwater management plans to ensure compliance with City regulations.

### **Parking**

Vehicle repair stations (minor) are required to have one off-street parking space for each 500 square feet of floor area, plus one for each employee on the largest shift, plus one for each vehicle used in the business and kept on the premises. Insurance offices are required to have one off-street parking space for each 200 square feet of floor area, plus one for each employee on the largest shift. Based on the submitted floor plan and the definition of net floor area (as defined in the Zoning Code in 158.114 (S) (3)), the proposed building has 5,690 square feet of net floor area attributed to the vehicle repair station portion of the building, which will require 11 spaces, and 2,070 square feet of net floor area attributed to the insurance office portion of the building, which

will require 10 spaces (see Attachment A highlighting areas used in calculation). The applicant has stated that there will be 17 employees in the building on the largest shift, and there will be no vehicle used and stored on site. In total, this portion of the PUD will be required to have 38 off-street parking spaces, two of which will need to be ADA compliant. This application shows 43 off-street parking spaces and two ADA compliant. This application exceeds the minimum spaces required in the Zoning Code, and will likewise meet the minimum number of spaces required by the ADA.

As a temporary measure, staff has added a condition that parking blocks be installed along the easternmost parking spaces until the eastern portion of the PUD develops, as shown on the proposed site plan. Additionally, while it was addressed during the legislative phase of the PUD, staff added a condition that reiterates the prohibition of storage of vehicles in the parking lot overnight.

### **Screening, Landscaping and Open Space**

Any time commercial or office development is planned adjacent to residential neighborhoods, it is important to pay particular attention to the screening of the private homes. As shown on this application, the applicant has included a landscape plan that shows their intention to screen the building from the residential homes to the south adding new evergreen trees. Along the western and southern property line, 23 proposed Norway spruce trees are shown approximately 10 to 12 feet apart. As this site sits above the residential properties, the applicant has shown the spruce trees to be 7 to 8 feet in height at planting, rather than the typical 5 to 6 feet.

In addition to the evergreen trees described above, the applicant is showing the combination of evergreen shrubs, deciduous trees and shrubs and decorative grasses to help make the site more attractive. Staff has added a condition that the final landscape plan show landscaping around the perimeter of the northern portion of the building, as well as evergreen shrubs to be planted along the southern portion of the parking lot to help block headlights.

Overall, staff is pleased with the extent of the landscaping being proposed with this development, and the extensive investment the proposed landscape plan represents. These plans signify the property owner's intention of developing an overall attractive site.

### **Lighting**

The lighting and photometric plans included in your packet call for 16-foot ground mounted poles on two foot bases. In order to be sensitive to the residential properties to the south, staff has added a condition that requires light poles, plus the base be no higher than 16 feet, and that lights be reduced to 25% of full operating levels after the closing of the building. Staff will review the final photometric plan to ensure compliance with our minimum standards.

The condition in the motion further requires these to be located within terminal parking islands or in the perimeter landscape area. This will ensure that cars don't bump into the concrete base, chipping and degrading the appearance of the pole base. The light fixtures will be full cut-off light fixture which will direct light toward the parking lot, and not toward the sky, to reduce "light pollution".

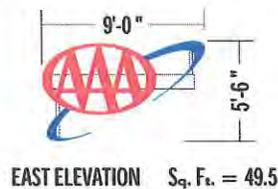
## Signage

The applicant is proposing one ground sign and six wall signs with this application. The proposed ground sign, which will be located between the existing sidewalk and the proposed drive aisle to the site, will be 6 feet tall, 24 square feet per sign face, and be on a brick base. The sign will be internally illuminated.

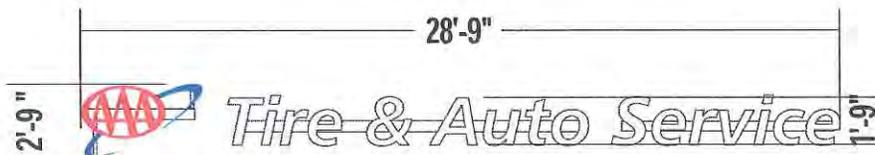
The proposed wall sign are as follows:

### East Elevation

- 49.5 square foot AAA logo sign



- 79.75 square foot logo and letter sign

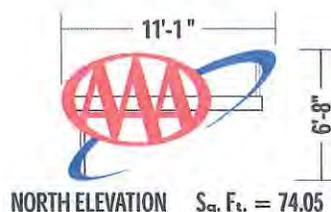


- 18.27 square foot letter sign



### North Elevation

- 74.05 square foot AAA logo sign



- 18.27 square foot letter sign (same as East elevation)

West Elevation

- 79.75 square foot logo and letter sign (same as East elevation)

The total of all wall signs adds up to approximately 320 square feet. Staff has added a condition that all letters and panels are to be individually mounted, not raceway signage.

**Construction Hours**

Being in the vicinity of residential, staff has added a condition that outdoor construction shall be limited from Monday thru Saturday 7:00 AM to 7:00 PM. This won't preclude indoor work such as HVAC, electrical, plumbing...etc. from occurring outside of those parameters once they get the building under roof.

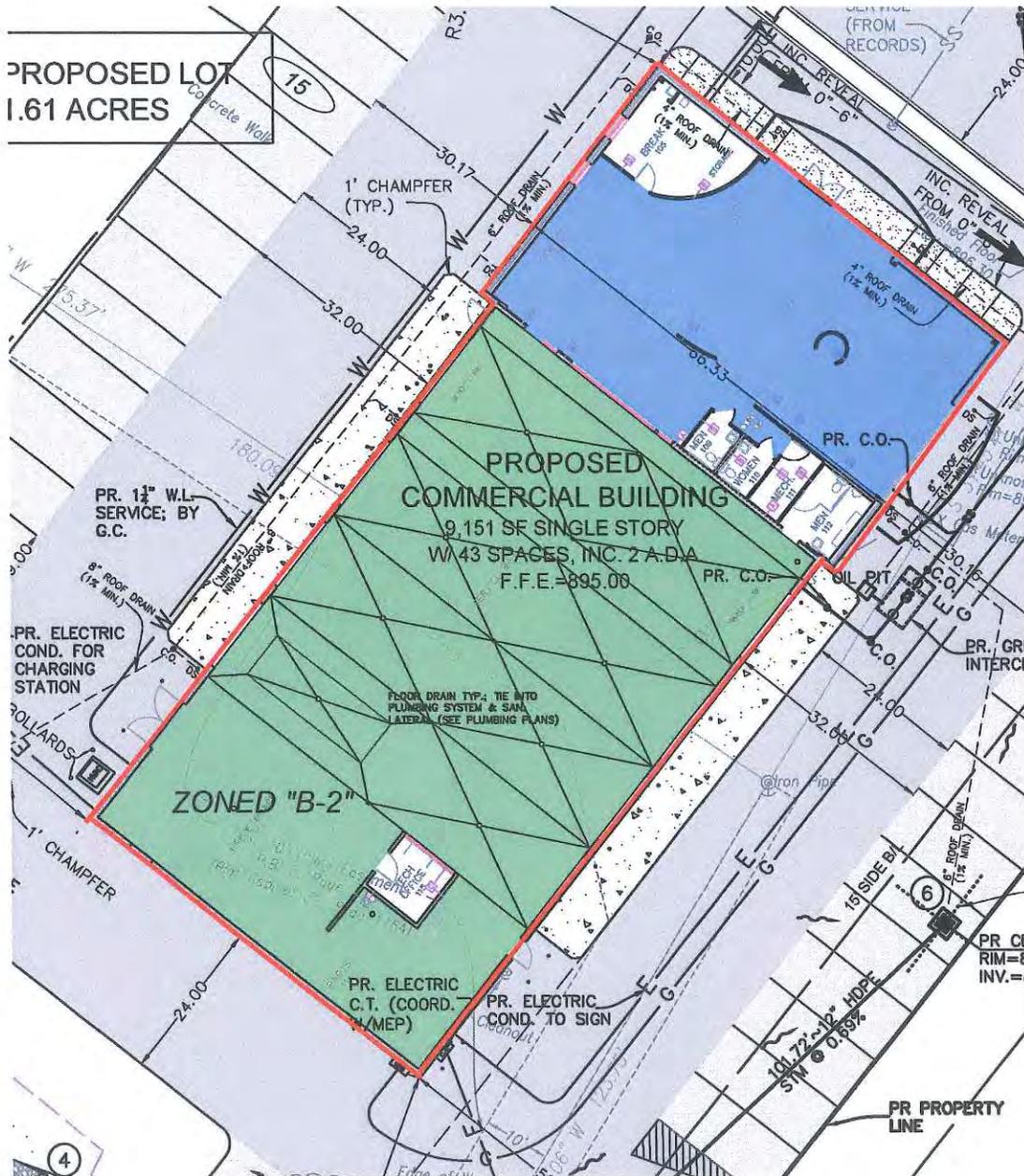
Planning Commission expanded on this requirement, and also prohibited delivery within these hours as well.

**RECOMMENDATION**

Based on this analysis, Planning Commission and staff recommend approval of this request subject to the conditions outlined in the attached motion.

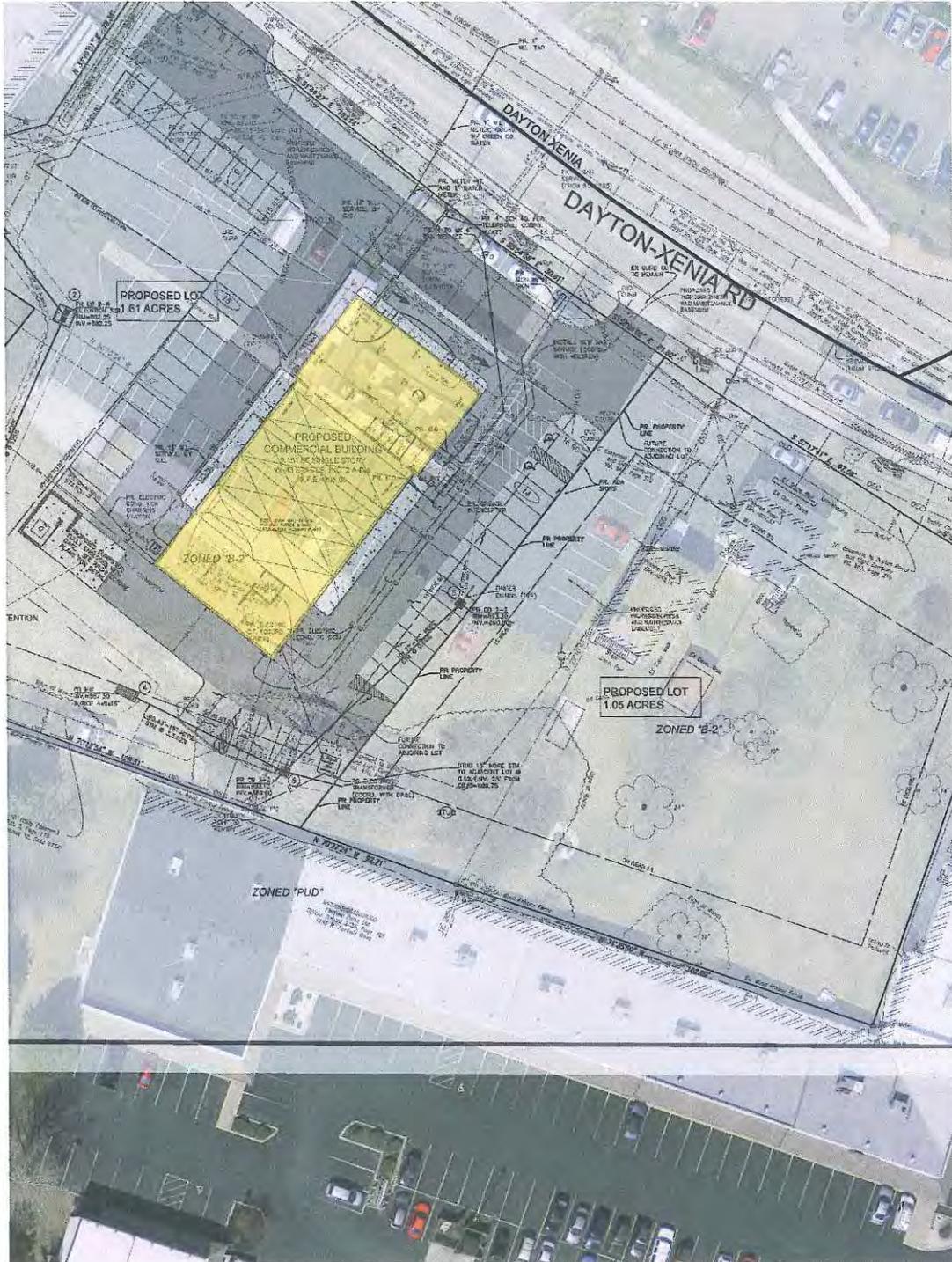
# Attachment A

The area highlighted in blue denotes the 2,070 square feet of net floor area attributed to the office portion of the building. The area highlighted in green represents the 5690 square feet of net floor area attributed to the vehicle repair portion of the building. The red lines represent the outside perimeter of the building.



# Attachment B

Overlay of the site with the existing aerial photo. Proposed building is highlighted in yellow.



## RESOLUTION

CITY OF BEAVERCREEK  
PLANNING COMMISSION  
February 3, 2016

RE: PUD 15-3 SSP #1  
AAA-Bob Sumerel Tire

WHEREAS, Peter Joseph, 15 West Central Parkway, Cincinnati OH 45202, agent for the property owner, has filed an application requesting approval of a Specific Site Plan for the construction of a 9,151 square foot AAA Travel and Insurance and AAA Tire and Auto Care facility located on the south side of Dayton-Xenia Road, approximately 100 feet west of the intersection of Dayton-Xenia Road and North Fairfield Road, further described as Book 5, Page 5, Parcel 87 on the tax maps of Greene County, Ohio; and

WHEREAS, public hearing was held on February 3, 2016 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Beavercreek Planning Commission finds that the facts submitted with this Specific Site Plan application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Specific Site Plan approval as per §158.066 of the Zoning Code; and

WHEREAS, the Beavercreek Planning Commission is taking administrative action in approving this Specific Site Plan.

NOW, THEREFORE BE IT RESOLVED,

### SECTION I

The Beavercreek Planning Commission recommends to Beavercreek City Council approval of this Specific Site Plan for AAA-Bob Sumerel Tire, PUD 15-3, SSP #1 with the following conditions and requirements.

### SECTION II

1. The approved site plan and architectural elevations shall be the plans dated "Received January 27, 2016" except as modified herein.

2. A PUD Agreement must be signed by the owner and a bond or letter of credit for the site landscaping must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
3. The final landscape plan shall be reviewed and approved by the Planning Department prior to the release of a zoning permit for the building. The final landscape plan shall include landscaping around the perimeter of the northern portion of the building, subject to review by the Planning Department.
4. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally installed, within three months weather permitting.
5. Any portion of the site disturbed by grading or by the removal of former structures and/or pervious surfaces and on which no construction occurs within three months after completion of the site grading, shall be planted with appropriate ground cover and properly maintained. Such areas shall be shown as part of the final landscape plan.
6. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including the storm drainage facilities. The City reserves the right to require more frequent collection as necessary.
7. All building mechanical equipment is to be screened from all directions with architectural features (roof forms or parapet walls) on each building. Metal screening will not be accepted. Pad mounted equipment must be screened with landscaping and/or masonry walls and shall not be visible to the public.
8. Gutters and downspouts shall not be visible on any elevation of the building. They shall be internally mounted
9. Prior to the issuance of a zoning permit, final cut sheet details and photometric plans for lighting of the site shall be reviewed and approved by the Planning Department. Maximum mounting height for any parking fixture shall be 16 feet (including the concrete base), and no pole shall be located in the paved area of the parking field. All light fixtures and related illumination of the site must meet the conditions outlined in the Zoning Code. Lights in the parking lot shall be reduced to no greater than 25 percent illumination level within one hour of closing.

10. Final topography and grading plans shall be submitted for review and approval by the City Engineer prior to the issuance of a site-grading or zoning permit.
11. Final drainage calculations shall be approved by the City Engineer prior to the release of the record plan for recording.
12. Exterior construction hours for the site shall be limited to 7:00 AM to 7:00 PM, Monday thru Saturday.
13. Temporary parking blocks shall be added to the easternmost parking spaces until the eastern portion of the PUD is developed.
14. All man-doors, service doors and loading dock doors shall be painted to match the color of the building as to blend in with the proposed façade.
15. Any split-face block, EIFS, or concrete masonry unit block will be of integral color and not a material that is painted on the outside only
16. No vehicles shall be parked outside of the building overnight or for long-term parking on the weekends.
17. The ground sign, which shall include a minimum 1-foot tall, brick and/or stone base, shall be a maximum of 5 feet tall and have a maximum 32 square feet per sign face. The final design and location shall be subject to review and approval by the Planning Department prior to release of a permit for the sign. Any ground sign shall be set in a base that shall be constructed of the same brick as used to construct the principal structure.
18. All wall signs shall be individually mounted channel letters or panels. No raceways shall be permitted. The sizes of the signs shall be limited to the sizes shown on the approved architectural elevations. The final design and location shall be reviewed and approved by the Planning Department prior to the release of the sign permit.
19. All trash collection containers shall be screened from view and enclosed within a permanent dumpster enclosure or stored completely within the building. Any dumpster enclosure shall be constructed of the same materials as the primary building and have a closable, lockable gate. The final design of the dumpster enclosure shall be reviewed and approved by the Planning and Zoning Department prior to the issuance of any zoning permits.
20. Delivery hours for the site shall be limited to 7:00 a.m. to 7:00 p.m. Monday thru Saturday.

SECTION III

These plans and all papers relating to the approved plan shall be submitted with this Resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

SECTION II

These plans and all papers relating to the approved plan shall be submitted with this Resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED: February 3, 2016

VOTING FOR ADOPTION: Daniel Archibald  
Chuck Curran  
Troy Erbes

VOTING AGAINST: None

ABSENT: Michael Self

\_\_\_\_\_  
Chairman

Attest:

\_\_\_\_\_  
PUD 15-3 SSP 1 AAA-Bob SumereI Resolution

**GENERAL NOTES:**

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF BEAVERCREEK SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

ALL WORK IN RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM CITY OF BEAVERCREEK.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 666.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:5-56. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE (HTTP://WWW.AGR.OHIO.GOV/EAB/).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL KEEP WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. THE CONTRACTOR IS DIRECTED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT 1 (800) 362-2764 AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITEWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONNEL APPROVAL.

**STORM SEWERS AND STRUCTURES:**

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR. STM" SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 603, TYPE A (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

603.06 BEDDING, TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 603.11.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPIGOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 603.11.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 604, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET).

DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

**EXCAVATION/FILL:**

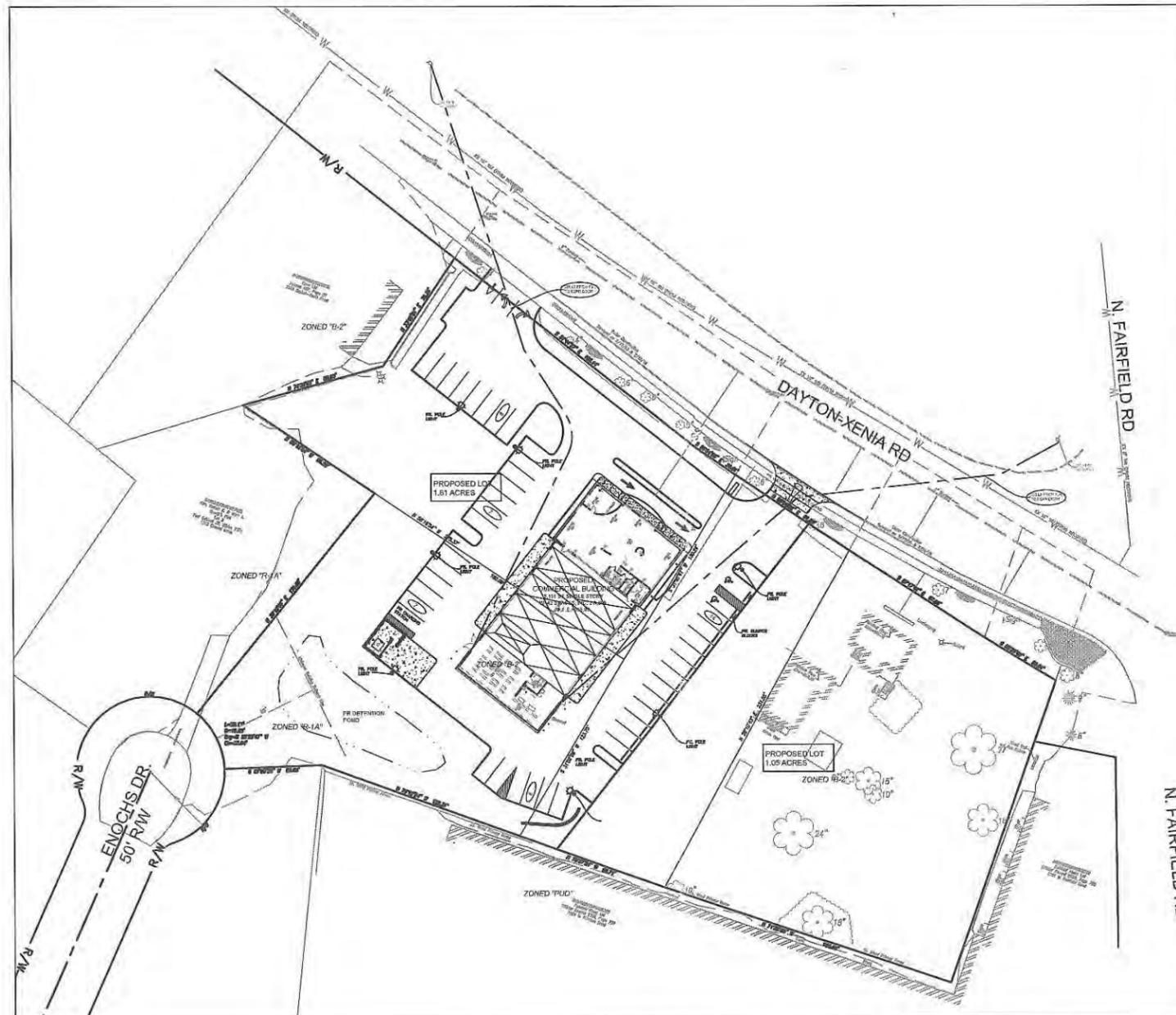
SITE BUILDING PAD EXCAVATION AND EMBANKMENT SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION AND APPROVAL.

PLANS FOR THE CONSTRUCTION OF A COMMERCIAL BUILDING FOR:  
**BOB SUMEREL TIRE-AAA**  
3321 DAYTON-XENIA RD, CITY OF BEAVERCREEK, GREENE COUNTY, OHIO  
OCTOBER 2015

**PROPOSED SITE**



LOCATION MAP



**APPLICANT/DEVELOPER:**

BOB SUMEREL TIRES/AAA  
C/O MIDLAND RETAIL  
6125 E. KEMPER RD.  
CINCINNATI, OHIO 45224  
CONTACT: PETER JOSEPH  
(513) 891-4724

**CIVIL ENGINEERING:**

EVANS ENGINEERING  
4240 AIRPORT RD., SUITE 108  
CINCINNATI, OHIO 45226  
513-321-2168  
JONATHAN R. EVANS, P.E.

**SURVEYING:**

LAND CONSULTANTS  
314 FRONT STREET  
LAWRENCEBURG, INDIANA 47025  
812-537-2145  
DENNIS DINKELACKER, P.S.

**BENCH MARKS:**

TEMPORARY BENCHMARK SET:  
ELEVATION=  
BENCHMARK BASED UPON  
LOCATIONS SHOWN IN DRAWINGS ARE FROM A FIELD SURVEY BY LAND CONSULTANTS, INC.

**INDEX:**

- C-1 TITLE SHEET & GENERAL NOTES
- C-1.1 SITE CONSTRUCTION DETAILS
- C-2 EXISTING CONDITIONS & DEMO PLAN
- C-3 SITE DIMENSION AND UTILITY SERVICE PLAN
- C-4 GRADING PLAN
- C-4.1 DETENTION DETAILS
- C-5 STORMWATER POLLUTION PREVENTION PLAN (SWPPP) & NOTES

**STANDARD DRAWINGS:**

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:  
CB 1.1 (7-15-2005) CATCH BASINS NOs 2-2A & B  
CB 1.2 (7-15-2005) CATCH BASINS NOs 2-3 & 2-4  
CB 2.2 (7-15-2005) CATCH BASIN NO. 3A  
MH 1.2 (1-20-2006) MANHOLE NO. 3  
BP-7.1 (1-19-2007) NEW CURB RAMPS WITH TRUNCATED DOMES  
DM-1.4 (4-21-2006) CONDUIT INSTALLATION

**CONSTRUCTION SEQUENCE:**

- THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:
1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
  2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
  3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
  4. DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
  5. INSTALL STORMWATER MANAGEMENT SYSTEMS.
  6. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
  7. SITE CONSTRUCTION.
  8. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
  9. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

**DEPARTMENT/UTILITY TABLE:**

GREENE COUNTY SANITARY ENGINEERING PROJECT MANAGEMENT TIM GROW 667 DAYTON-XENIA RD, XENIA, OHIO 45385 TEL: 937-562-7462	GREENE COUNTY COMBINED HEALTH 360 WILSON DR. XENIA, OHIO 45385 TEL: 937-347-5600
CITY OF BEAVERCREEK ENGINEERING 136B RESEARCH PARK DR, BEAVERCREEK, OHIO 45432 TEL: 937-427-5513	CITY OF BEAVERCREEK PLANNING AND ZONING RANDALL BURKETT 136B RESEARCH PARK DR, BEAVERCREEK, OHIO 45432 TEL: 937-427-5512
DAYTON POWER & LIGHT (DP&L) (ELECTRIC) 1900 DRYDEN RD MORAIN, OH 45439 CONSTANCE HOLBERT 937-331-4617 937-479-0491 CELL CONSTANCE.HOLBERT@AES.COM	

**GRAPHIC SCALE**



( IN FEET )

1 inch = 40 ft.

RECEIVED

JAN 27 2016

CITY OF BEAVERCREEK PLANNING DEPARTMENT



REVISIONS	BY	NO. & DESCRIPTION	DATE

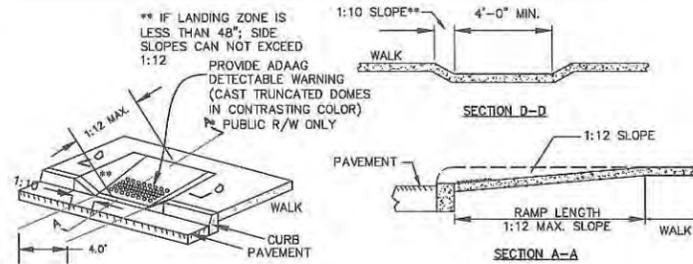
EVANS ENGINEERING  
4240 AIRPORT ROAD, SUITE 108  
CINCINNATI, OHIO 45226  
(513) 321-2168  
(513) 321-2173 FAX  
ATTN: JONATHAN R. EVANS, P.E.

BOB SUMEREL TIRE/AAA  
**TITLE SHEET & GENERAL NOTES**  
3321 DAYTON-XENIA RD, CITY OF BEAVERCREEK,  
GREENE COUNTY, OHIO, 45432

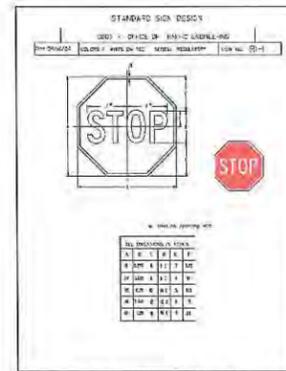
SCALE:	HORIZ	VERT.
	1"=40'	N/A
JOB NO.	15-153	
DATE	JAN. 27, 2016	

SHEET NO.  
**C-1**

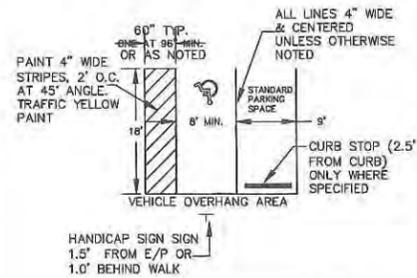




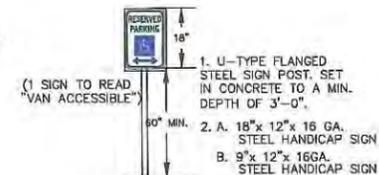
**CURB RAMP DETAIL**  
NOT TO SCALE  
(MUST MEET A.D.A.)



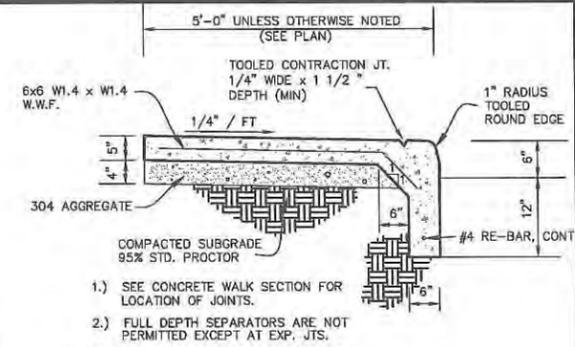
**STOP SIGN DETAIL**  
NOT TO SCALE



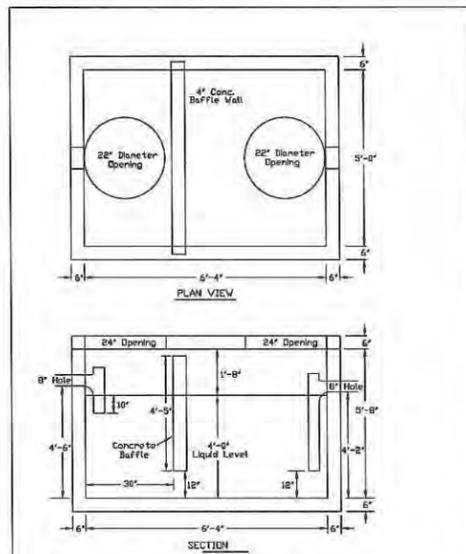
**PARKING STRIPING DETAILS**  
NOT TO SCALE



**ADA PARKING SIGN DETAIL**  
NOT TO SCALE



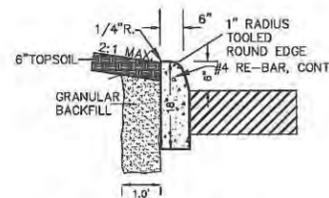
**INTEGRAL WALK AND CURB**  
NOT TO SCALE



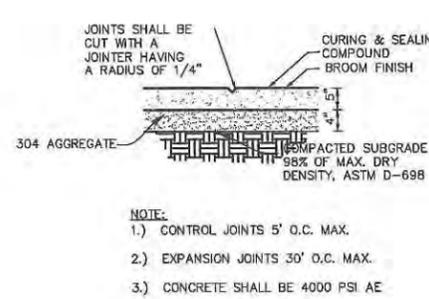
- Notes:**
1. Concrete design strength is equal to 4000 PSI @ 28 days.
  2. Conforms to Portland Cement ASTM C 150, Type I.
  3. Lifting Devices Base Section 4 lift hooks in floor of base.
  - Top Slab 4 Lift Hooks.
  5. Structure Includes Base Section, Top Slab & Baffle Only. All Other Stand Pipes And Fittings Are The Contractors Responsibility.
  6. Inlet And Outlet Holes Are Formed @ 8' To Fit A 4' Or 6' Press Seal FSX Boot.
  7. Base Weight 13,600 #, Lid Weight 3,300 # Baffle Weight 1,000 #
  8. 24" Opening In Top Slab For Neenah R-3405 Castings.



**GREASE INTERCEPTOR DETAIL**  
NOT TO SCALE

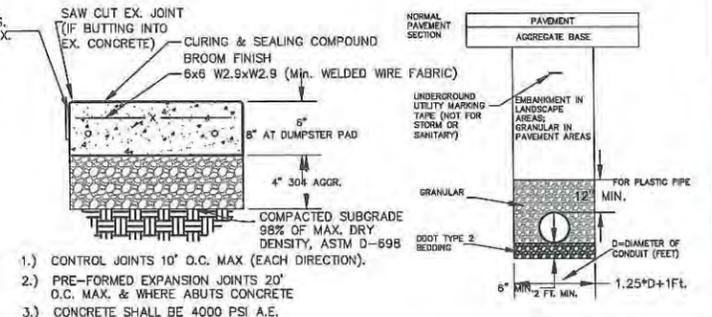


**18" STRAIGHT CURB**



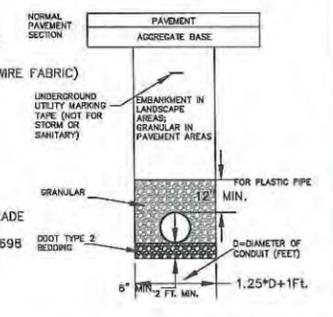
- NOTE:**
- 1.) CONTROL JOINTS 5' O.C. MAX.
  - 2.) EXPANSION JOINTS 30' O.C. MAX.
  - 3.) CONCRETE SHALL BE 4000 PSI AE

**CONCRETE WALK DETAIL**  
NOT TO SCALE

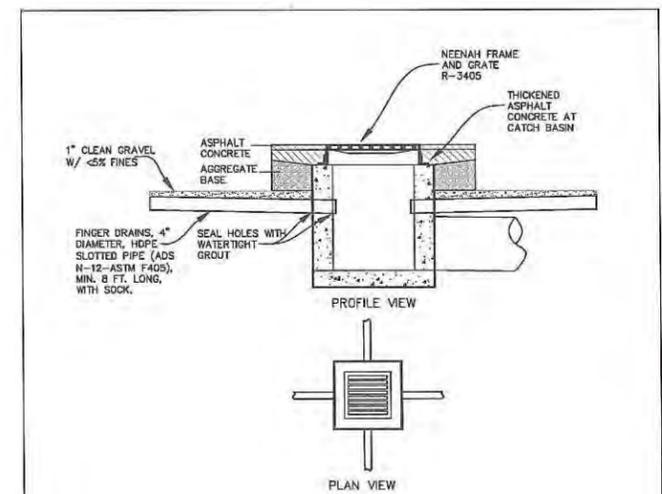


- 1.) CONTROL JOINTS 10' O.C. MAX (EACH DIRECTION).
- 2.) PRE-FORMED EXPANSION JOINTS 20' O.C. MAX. & WHERE ABUTS CONCRETE
- 3.) CONCRETE SHALL BE 4000 PSI A.E.

**CONCRETE PAVING DETAIL**  
NOT TO SCALE

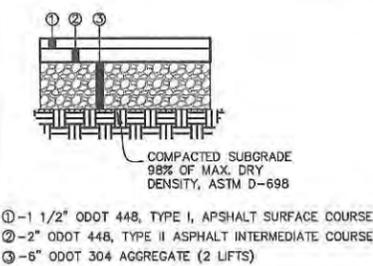


**TRENCH-BACKFILL DETAIL**  
NOT TO SCALE

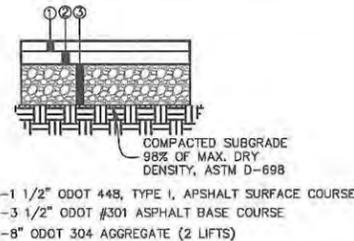


- NOTES:**
1. PIPE TO BE HDPE SLOTTED-ADS N-12, ASTM F405 (OR EQUAL)
  2. SLOPE PIPE AND TRENCH BOTTOM FOR POSITIVE DRAINAGE TO INLET-2% RECOMMENDED.
  3. WRAP EACH SLOTTED PIPE IN FILTER SOCK.
  4. FRAME AND GRATE SHALL BE NEENAH R-3405. (HEAVY DUTY FRAME AND GRATE)
  5. FINGER DRAIN TO BE OMITTED WHEN THERE IS A CONFLICT BETWEEN INLET/OUTLET PIPE ELEVATIONS AND FINGER DRAIN.
  6. HOLE FOR FINGER DRAIN SHALL BE SEALED WITH WATERTIGHT GROUT.

**DETAIL AT CATCH BASIN IN PAVEMENT**  
NOT TO SCALE



**MEDIUM DUTY ASPHALT PAVING**  
NOT TO SCALE



**HEAVY DUTY ASPHALT PAVING**  
NOT TO SCALE

- ADDITIONAL PAVING NOTES:**
- AFTER BITUMINOUS PAVEMENT HAS BEEN REPLACED, SAWCUT OR ROUTE JOINT BETWEEN EXISTING AND NEW PAVEMENT AND FILL WITH HOT Poured RUBBER JOINT SEALER PRODUCT. HOT Poured RUBBER JOINT SEALER SHALL BE ONE OF THE FOLLOWING OR AN APPROVED EQUAL:
- 1) ROADSAVER 221; CRAFCO INC.
  - 2) PRODUCT #9005 OR #9030; KOCH MATERIAL COMPANY
  - 3) SEALTIGHT HI-SPEC; W.R. MEADOWS, INC.



REVISIONS	BY	NO. & DESCRIPTION	DATE

**EVANS ENGINEERING**  
4240 AIRPORT ROAD, SUITE 108  
CINCINNATI, OHIO 45226  
(513) 321-2168  
(513) 321-2173 FAX  
ATTN: JONATHAN R. EVANS, P.E.



**BOB SUMEREL TIRE/AAA**

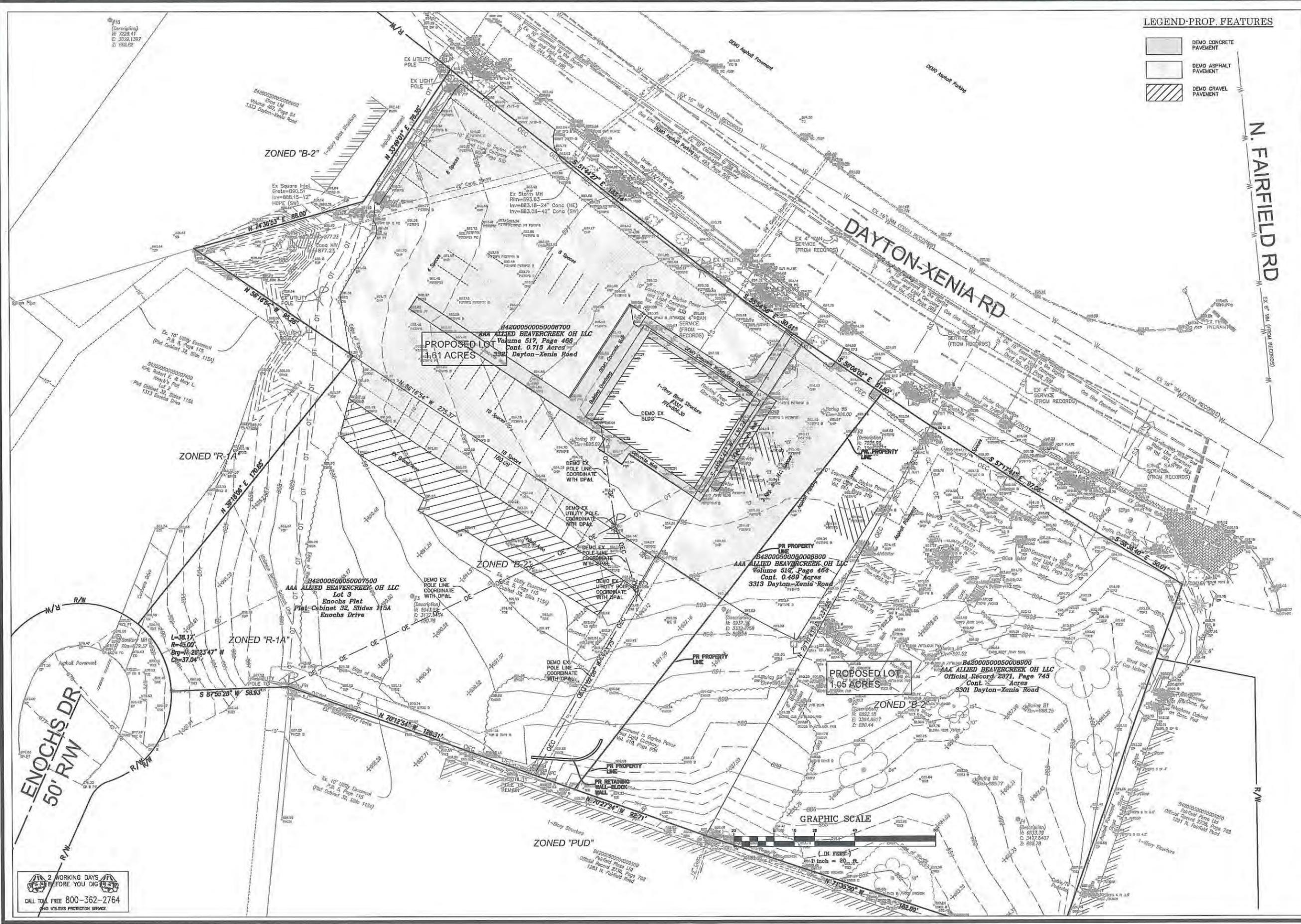
**SITE CONSTRUCTION DETAILS**

3321 DAYTON-XENIA RD, CITY OF BEAVERCREEK,  
GREENE COUNTY, OHIO, 45432

SCALE:	HORIZ.	VERT.
	N/A	N/A
JOB NO.	15-153	
DATE	JAN. 28, 2016	

**SHEET NO.**

**C-1.1**



**LEGEND-PROP. FEATURES**

	DEMO CONCRETE PAVEMENT
	DEMO ASPHALT PAVEMENT
	DEMO GRAVEL PAVEMENT

STATE OF OHIO  
 PROFESSIONAL ENGINEER  
 JONATHAN R. EVANS  
 E-65653  
 01/28/2016  
 PROFESSIONAL ENGINEER No. 65653

REVISIONS	NO.	DESCRIPTION
DATE	BY	

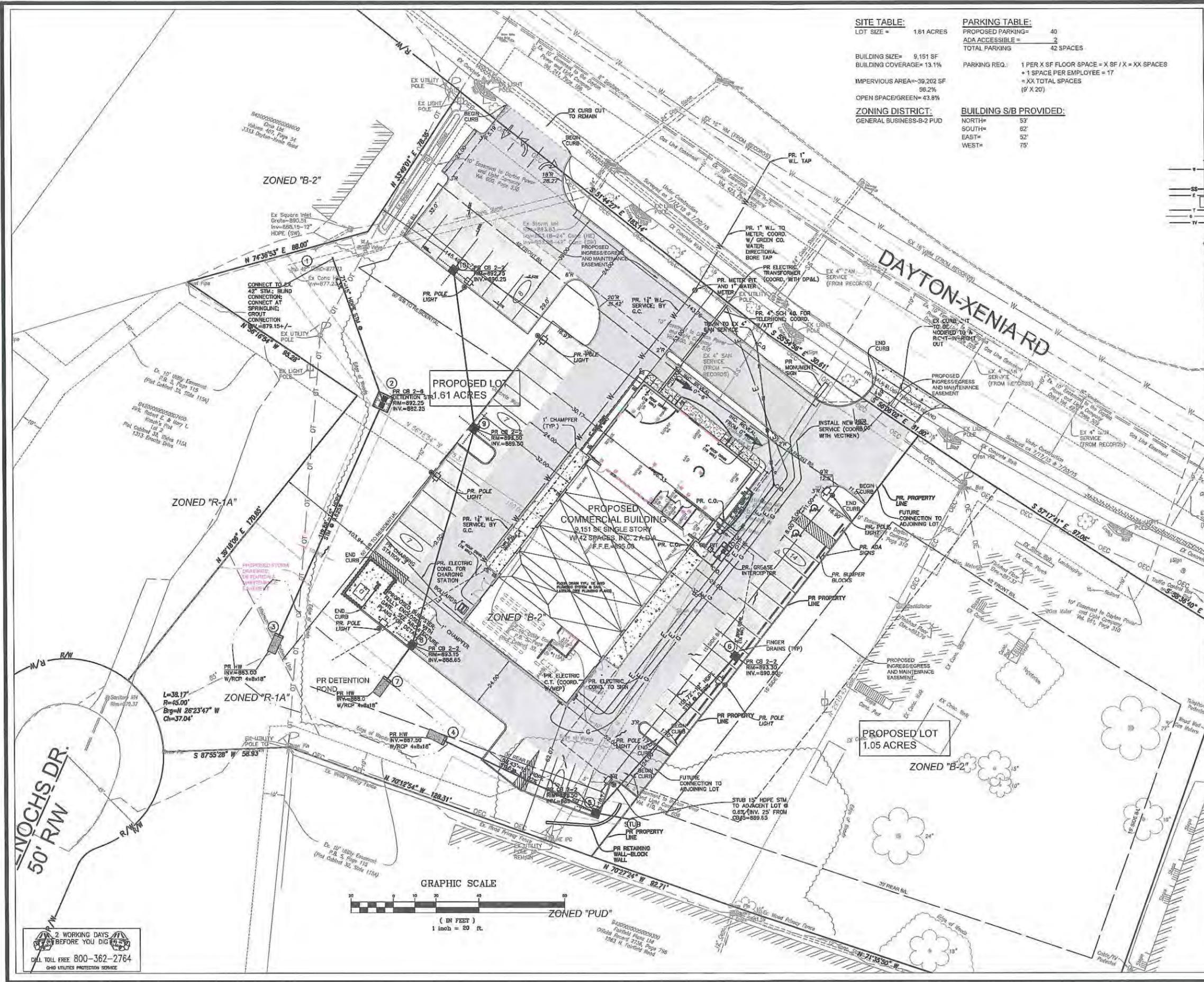
EVANS ENGINEERING  
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 (513) 321-2168  
 (513) 321-2173 FAX  
 ATTN: JONATHAN R. EVANS, P.E.

BOB SUMEREL TIRE/AAA  
**EXISTITION CONDITIONS & DEMO PLAN**  
 3321 DAYTON-XENIA RD., CITY OF BEAVERCREEK,  
 GREENE COUNTY, OHIO, 45432

SCALE:	HORIZ.	VERT.
	1"=20'	N/A
JOB NO.	15-153	
DATE	JAN. 28, 2016	

SHEET NO.  
 C-2





**SITE TABLE:**  
 LOT SIZE = 1.61 ACRES  
 BUILDING SIZE = 9,151 SF  
 BUILDING COVERAGE = 13.1%  
 IMPERVIOUS AREA = 39,202 SF  
 58.2%  
 OPEN SPACE/GREEN = 43.8%

**ZONING DISTRICT:**  
 GENERAL BUSINESS-B-2 PUD

**PARKING TABLE:**  
 PROPOSED PARKING = 40  
 ADA ACCESSIBLE = 2  
 TOTAL PARKING = 42 SPACES

**PARKING REQ.:**  
 1 PER X SF FLOOR SPACE = X SF / X = XX SPACES  
 + 1 SPACE PER EMPLOYEE = 17  
 = XX TOTAL SPACES  
 (9' X 20')

**BUILDING S/B PROVIDED:**  
 NORTH = 53'  
 SOUTH = 62'  
 EAST = 52'  
 WEST = 75'

**LEGEND-PROP. FEATURES**

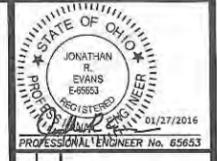
	NEW PORTLAND CEMENT CONCRETE PAVEMENT
	NEW PORTLAND CEMENT CONCRETE WALK
	NEW HEAVY DUTY PAVEMENT
	NEW MEDIUM DUTY ASPHALT PAVING

**LEGEND-PROP. FEATURES**

	PROPOSED DOMESTIC WATER SERVICE (1 1/2" LINE) ALL WATERLINES TO HAVE A MINIMUM OF 42" OF COVER OVER THE PIPES.
	PROPOSED 8" SANITARY LATERAL PVC SDR 35 @ 2.08% MIN.
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED UNDERGROUND TELEPHONE SERVICE
	PROPOSED GAS SERVICE (SIZE TBD BY USE) - INSTALL 4" CONDUIT
	PROPOSED UNDERGROUND CABLE CONDUIT
	DS - PR. DOWNSPOUT
	RD - PR. 6" SDR 35 ROOF DRAIN @ 2.08% (OR SLOPED AS NOTED)
	A - PR. LIGHTING; SEE LIGHTING PLANS (BY OTHERS)

**NOTES:**

- CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRING OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND FIELD SURVEY BY LAND CONSULTANTS, JULY 2015.
- ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES (SEE COVER SHEET FOR CONTACTS).  
 DP&L ENERGY-ELECTRIC  
 VECTREN - GAS  
 ATT - TELEPHONE  
 GREEN COUNTY - SANITARY SEWER  
 GREEN COUNTY - WATER SERVICE  
 FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH CURRENT ARCHITECTURAL AND M.E.P. PLANS PRIOR TO STARTING CONSTRUCTION.
- THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER.
- THE PLUMBING CONTRACTOR MUST CONDUCT A TV-CAMERA INSPECTION OF THE EXISTING LATERALS AND VERIFY/DETERMINE THE ACTUAL DEPTH AND CONDITION OF LATERALS TO BE USED. A TAP PERMIT MUST BE OBTAINED FROM GREEN COUNTY FOR BUILDING SEWERS. THE SEWER CONTRACTOR MUST CONTACT THE ENGINEER FOR SEWER INSPECTION AFTER TAP PERMIT IS ISSUED.
- SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE NEENAH R-1976 LID AND FRAME.
- COORDINATE WITH GREEN COUNTY FOR BUILDING WATER TAP.
- ROOF DRAINS, FOUNDATION DRAINS, COOLING WATER, SWIMMING POOL WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- ROOF DRAINS SHALL BE SDR 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
- SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER PACKS.
- A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
- ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
- ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
- ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI 5-7% AIR ENTRAINED.



**REVISIONS**

NO.	DESCRIPTION	DATE

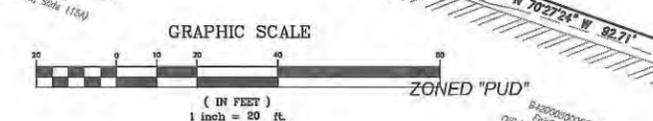
**EVANS ENGINEERING**  
 4240 AIRPORT ROAD, SUITE 108  
 CINCINNATI, OHIO 45226  
 (513) 321-2168  
 (513) 321-2173 FAX  
 ATTN: JONATHAN R. EVANS, P.E.

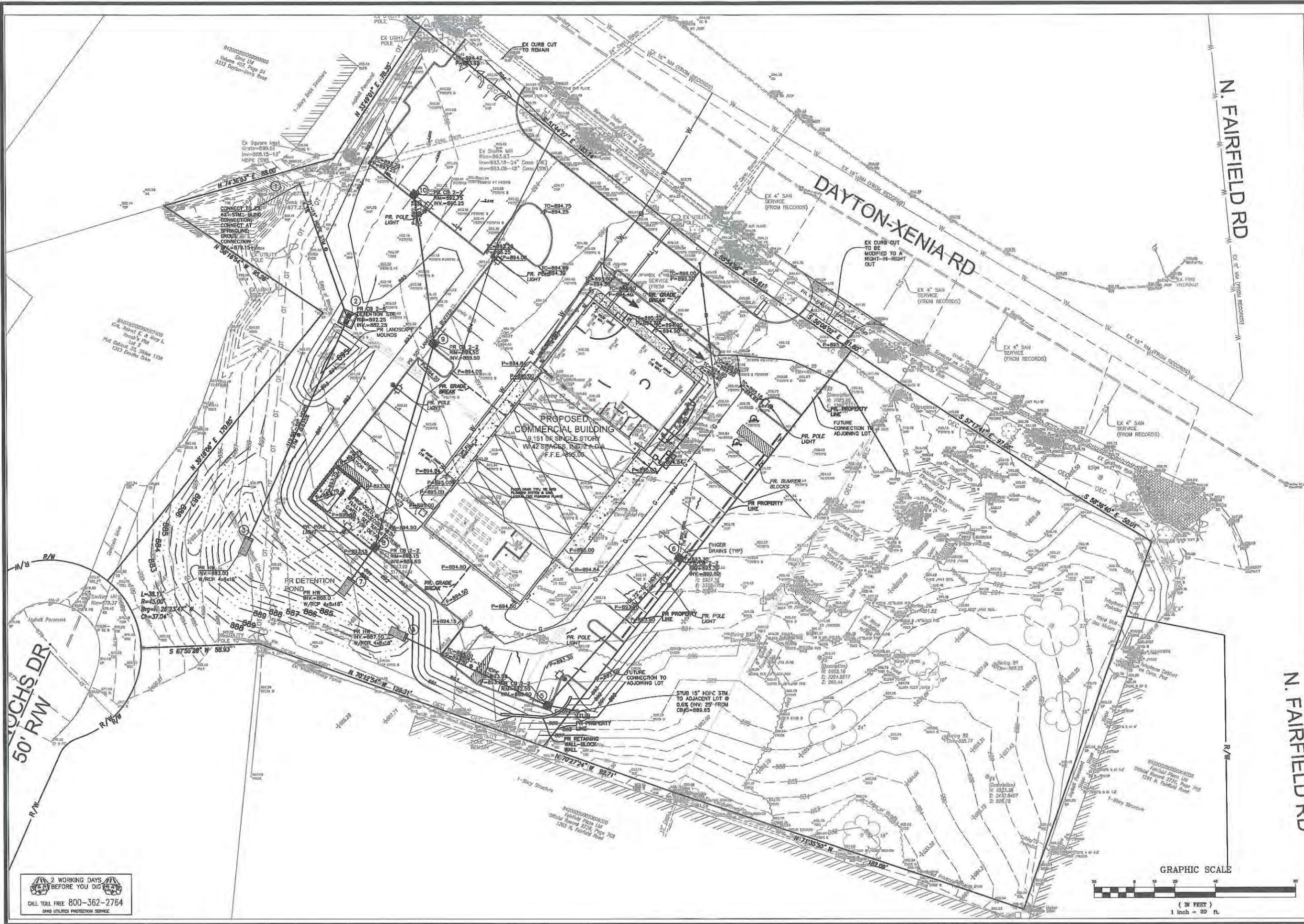
**BOB SUMEREL TIRE/AAA**  
 SITE DIMENSION AND UTILITY SERVICE PLAN  
 3321 DAYTON-XENIA RD., CITY OF BEAVERCREEK,  
 GREENE COUNTY, OHIO, 45424

SCALE	HORIZ.	VERT.
	1"=20'	N/A
JOB NO.	15-153	
DATE	JAN. 27, 2016	

**SHEET NO.**  
 C-3

2 WORKING DAYS BEFORE YOU DIG  
 CALL TOLL FREE 800-362-2764  
 Ohio Utilities Protection Service





STATE OF OHIO  
 JONATHAN R. EVANS  
 E-85853  
 REGISTERED PROFESSIONAL ENGINEER  
 01/27/2016  
 PROFESSIONAL ENGINEER No. 85653

REVISIONS	BY	NO. & DESCRIPTION	DATE

EVANS ENGINEERING  
 4240 AIRPORT ROAD, SUITE 108  
 CINCINNATI, OHIO 45226  
 (513) 821-2168  
 (513) 821-2173 FAX  
 ATTN: JONATHAN R. EVANS, P.E.

BOB SUMEREL TIRE/AAA  
**GRADING PLAN**  
 3321 DAYTON-XENIA RD., CITY OF BEAVERCREEK,  
 GREENE COUNTY, OHIO, 45432

SCALE:	HORIZ.	VERT.
	1"=20'	N/A
JOB NO.	15-153	
DATE	JAN. 27, 2016	

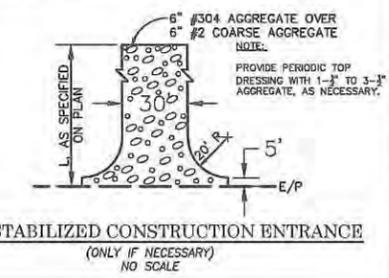
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**EROSION AND SEDIMENT CONTROL NOTES:**

- PRE-CONSTRUCTION:**
1. THE CONTRACTOR SHALL NOTIFY GREENE COUNTY SOIL EROSION (LOCAL AUTHORITY) AT LEAST SEVEN (7) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITIES AND, UNLESS WAIVED BY THE LOCAL AUTHORITY, WILL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES FROM THE LOCAL AUTHORITY.
  2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY BY TELEPHONE AT THE FOLLOWING POINTS:
    - A. THE REQUIRED PRE-CONSTRUCTION MEETING
    - B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
    - C. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE.
    - D. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES
    - E. PRIOR TO FINAL ACCEPTANCE
  3. A COPY OF THE APPROVED SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
  4. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY A LOCAL AUTHORITY REPRESENTATIVE PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES.
  5. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE AN EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE.
  6. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE LOCAL AUTHORITY BEFORE ANY CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION ARE IMPLEMENTED UNLESS IMMEDIATE ACTION IS NECESSARY. IN THIS CASE, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
  7. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE. THE CONTRACTOR SHALL KEEP WRITTEN RECORDS OF ALL SEDIMENT AND EROSION CONTROL INSPECTIONS AND MAINTENANCE FOR THE DURATION OF THE PROJECT. THIS INFORMATION MUST BE MADE AVAILABLE TO A LOCAL AUTHORITY REPRESENTATIVE UPON REQUEST.
- SAFETY:**
8. THE LOCAL AUTHORITY SITE REPRESENTATIVE ALWAYS HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES IF DEEMED NECESSARY.
  9. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, BASINS AND TRAPS MAY NEED TO BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR OWNER SHALL CHECK WITH LOCAL BUILDING OFFICIALS ON APPLICABLE SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING TYPES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE SHALL BE MADE OF WELDED WIRE AND AT LEAST FORTY TWO (42) INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN EIGHT (8) FEET, HAVE MESH OPENINGS NO GREATER THAN TWO (2) INCHES IN WIDTH AND FOUR (4) INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.
  10. STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT PADS CONSTRUCTED AT THE TIME OF BASE PAVING TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.
  11. STOCKPILE SLOPES SHALL NOT BE STEEPER THAN 2:1.
- STABILIZED CONSTRUCTION ENTRANCE:**
12. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ON PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY USING A STREET SWEEPER OR SCRAPER. DEBRIS SHALL NOT BE WASHED OFF PAVED SURFACES OR INTO STORM DRAINS.
  13. CONSTRUCTION ENTRANCES SHOULD NOT BE RELEASD UPON TO REMOVE MUD FROM VEHICLES. VEHICLES THAT ENTER AND LEAVE THE SITE SHALL BE RESTRICTED FROM MUDDY AREAS OR CLEANED BEFORE LEAVING SITE.
- SEDIMENT TRAPS AND BASINS:**
14. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN TWENTY (20) FEET OR AN EXISTING OR PROPOSED FOUNDATION OR TRAFFIC AREA. NO STRUCTURE MAY BE CONSTRUCTED WITHIN TWENTY (20) FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.
  15. SEDIMENT TRAPS AND BASINS MUST HAVE STABLE INFLOW AND OUTFLOW POINTS SO THAT WATER CAN DISCHARGE WITHOUT CAUSING EROSION.
  16. SEDIMENT BASINS/TRAPS SHALL NOT BE GREATER THAN FOUR (4) FEET IN DEPTH.
  17. SEDIMENT MUST BE CLEANED, AND THE TRAP/BASIN RESTORED TO ITS ORIGINAL DIMENSIONS, WHEN ACCUMULATION REACHES A HEIGHT HALF-WAY UP TO THE TOP OF THE DESIGNED HOLDING AREA.
  18. SEDIMENT REMOVED FROM TRAPS AND BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.
  19. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM, STABLE GROUND SURFACE, OR RELEASE FROM THE SITE.
  20. SEDIMENT BASINS MUST BE REMOVED WITHIN THIRTY SIX (36) MONTHS AFTER THEIR CONSTRUCTION.
  21. OHIO DAM SAFETY LAWS APPLY TO BASINS LARGER THAN FIFTEEN (15) ACRE-FEET (24,000 CY) AS MEASURED TO THE TOP OF THE HOLDING AREA.
- TEMPORARY & PERMANENT STABILIZATION:**
22. ALL CRITICAL SLOPES (3:1 OR STEEPER) SHALL BE STABILIZED WITH SOD OR SEED AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ACHIEVING FINAL GRADE.
  23. ALL AREAS NOT DRAINING TO A FUNCTIONING SEDIMENT BASIN MUST BE FINAL GRADED AND STABILIZED WITH SOD OR SEED WITHIN SEVEN (7) CALENDAR DAYS OF ACHIEVING FINAL GRADE.
  24. ALL AREAS WITHIN FIFTY (50) FEET OF A STREAM MUST BE STABILIZED WITHIN TWO (2) CALENDAR DAYS OF ACHIEVING FINAL GRADE.
  25. ALL AREAS THAT ARE TO REMAIN BARE, INCLUDING STOCK PILES, FOR TWENTY ONE (21) CALENDAR DAYS MUST BE STABILIZED WITH SEED OR SOD.
  26. WHEN THE PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND ANCHORED MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.
  27. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP-RAP, OR BY OTHER APPROVED STABILIZATION MEASURES WITHIN TWO (2) DAYS OF ACHIEVING FINAL GRADE.
  28. TEMPORARY SEDIMENT CONTROL DEVICES MAY BE REMOVED, WITH PERMISSION OF A CITY REPRESENTATIVE, THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.
  29. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

30. FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS TO PREVENT WATER FROM PONDING FOR MORE THAN TWENTY FOUR (24) HOURS AFTER THE END OF A RAINFALL EVENT. DRAINAGE COURSES AND SWALE FLOW AREAS MAY TAKE AS LONG AS FORTY EIGHT (48) HOURS AFTER THE END OF A RAINFALL EVENT TO DRAIN. AREAS DESIGNED TO HAVE STANDING WATER (I.E. RETENTION PONDS) DO NOT HAVE TO MEET THIS REQUIREMENT.
  31. ALL WASTE AND BORROW AREAS OFF-SITE MUST BE PROTECTED BY SEDIMENT CONTROL MEASURES AND STABILIZED.
- OTHER:**
32. NO SOLID OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. THE CONTRACTOR MUST IMPLEMENT ALL NECESSARY CONTROL MEASURES TO PREVENT THE DISCHARGE OF POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS. UNDER NO CIRCUMSTANCE SHALL CONCRETE TRUCKS WASH OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATER.
  33. SEDIMENT MUST BE CLEANED FROM SILT FENCES AND MULCH BERMS WHEN ACCUMULATION REACHES A HEIGHT OF HALF-WAY UP TO THE TOP OF THE FENCE/BERM.
  34. SEDIMENT REMOVED FROM SILT FENCES AND MULCH BERMS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.
  35. ALL SLOPES STEEPER THAN 3:1 REQUIRED GRADE TREATMENT, EITHER STAIR-STEP GRADING, GROOVING, FURROWING, OR TRACKING IF THEY ARE TO BE STABILIZED WITH VEGETATION.
  36. AREAS WITH GRADES LESS STEEP THAN 3:1 SHOULD HAVE THE SOIL SURFACE LIGHTLY ROUGHENED AND LOOSE TO A DEPTH OF TWO (2) TO FOUR (4) INCHES PRIOR TO SEEDING.
  37. CONSTRUCTION AND DEMOLITION DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE STATUTES.
- ADDITIONAL STORMWATER POLLUTION PREVENTION NOTES:**
- UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES "RAINWATER AND LAND DEVELOPMENT" MANUAL, CURRENT EDITION SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.
- THE DEVELOPER AND CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT AND OHIO DHC000003-AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES).
- CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
- SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY. SEDIMENT BASINS AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED PRIOR TO GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UP SLOPE DEVELOPMENT AREA IS REESTABLISHED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROLS MUST BE CONSTRUCTED OR EXISTING CONTROLS ALTERED TO ADDRESS THE CHANGING DRAINAGE PATTERNS.
- SOIL STOCKPILES MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING TO PREVENT SOIL LOSS.
- SILT FENCES AND "INLET FILTERS" ARE TO BE CONTINUOUSLY MAINTAINED BY THE DEVELOPER AND CONTRACTOR UNTIL ALL DAMAGE OF EROSION/SEDIMENTATION OCCURRING HAS BEEN ELIMINATED.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659, AND PER TABLE LISTED ON THIS SHEET "STABILIZATION."
- EXCAVATION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.
- THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE FROM THE OUTLOT ONTO NEARBY PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.
- THE DEVELOPER AND/OR CONTRACTOR SHALL PERFORM REGULAR STREET SWEEPING TO MINIMIZE SEDIMENTS TO THE PROPOSED STORM SEWER SYSTEM.
- UPON REQUEST OF THE OHIO EPA, OR LOCAL JURISDICTION, THE CONTRACTOR SHALL PROVIDE ALL NPDES PERMIT REPORTS AND A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR SHALL ALLOW THE OHIO EPA, OR LOCAL JURISDICTION, TO ENTER THE SITE TO INSPECT AND MONITOR ALL EROSION CONTROL MEASURES.
- DUMPSTERS AND PORT-O-LETS ARE NOT TO BE CLOSER THAN 20' FROM THE PROPERTY LINES.
- SPECIAL NOTES:**
1. DURING CONSTRUCTION, THE PROPERTY MUST HAVE A MINIMUM TWENTY (20) FOOT WIDE CONSTRUCTION ENTRANCE MAINTAINED OF STONE MATERIAL.
  2. AT THE CONSTRUCTION ENTRANCE TO THE PROPERTY, THERE MUST BE A WATER SOURCE AND TIRES OF CONSTRUCTION VEHICLES MUST BE RINSED TO MINIMIZE ANY DIRT WHICH WOULD MIGRATE FROM THE PROPERTY.
  3. DURING CONSTRUCTION, DEBRIS MUST BE REMOVED AS APPROPRIATE, BUT AT LEAST WEEKLY.
  4. DURING CONSTRUCTION, EROSION CONTROL MUST BE MAINTAINED ON THE PROPERTY INCLUDING PERIMETER CONTROL, E.G. STRAW BALE BARRIERS, EROSION FENCING, ETC.



**TEMPORARY AND PERMANENT SEEDING:**

- 1.1 SEEDING PREPARATION**
- A. LINE (IN LIEU OF A SOIL TEST RECOMMENDATION) ON AGG SOIL (pH=5.5 OR LESS) AND SUBSOIL AT A RATE OF 100 POUNDS PER 1000 SF, OR TWO (2) TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE.
- B. FERTILIZER (IN LIEU OF A SOILS TEST RECOMMENDATION) SHALL BE APPLIED AT A RATE OF 12-15 POUNDS (25 POUNDS FOR PERMANENT SEEDING) PER 1000 SF OF 10-10-10 OR 12-12-12 ANALYSIS OR EQUIVALENT.
- 1.2 SEEDING**
- 1. TEMPORARY SEEDING MIXTURE**
- | SEEDING PERIOD    | TYPE               | RATE (1000 SF) |
|-------------------|--------------------|----------------|
| SPRING AND SUMMER | 1. OATS            | 3 LBS          |
|                   | 2. PEREN. RYEGRASS | 1 LBS          |
|                   | 3. TALL FESCUE     | 1 LBS          |
| FALL              | 1. PEREN. RYEGRASS | 1 LBS          |
|                   | 2. RYE             | 3 LBS          |
|                   | 3. WHEAT           | 1 LBS          |
|                   | 4. TALL FESCUE     | 1 LBS          |
- 2. PERMANENT SEEDING MIXTURE**
- | SEEDING PERIOD                             | TYPE                   | RATE (1000 SF) |
|--|------------------------|----------------|
| SPRING, SUMMER, AND FALL                   | 1. CREEPING RED FESCUE | 0.5 LBS        |
|  | DOMESTIC RYEGRASS      | 0.25 LBS       |
|  | KENTUCKY BLUEGRASS     | 0.25 LBS       |
| 2-1 SEEDING FOR STEEP BANKS OR CUTS        | 1. TALL FESCUE         | 1 LBS          |
|  | 2. CROWNVETCH          | 0.25 LBS       |
|  | 3. FLATPEA             | 0.50 LBS       |
| 2-2 SEEDING FOR WATERWAYS AND ROAD DITCHES | 1. TALL FESCUE         | 1 LBS          |
|  | 2. DWARF FESCUE        | 0.50 LBS       |

- TEMPORARY AND PERMANENT SEEDING (CONT.)**
- B. APPLY THE SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) PREFERABLY ON A FIRM, MOIST SEEDBED. SEED WHEAT OR RYE NO DEEPER THAN ONE (1) INCH. SEED RYEGRASS NO DEEPER THAN ONE QUARTER (1/4) OF AN INCH.
- C. WHEN FEASIBLE, EXCEPT WHERE A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMLY FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHEREVER POSSIBLE.
- D. OTHER SEEDING SPECIES MAY BE SUBSTITUTED FOR THESE MIXTURES.
- E. THESE SEEDING RATES NEED TO BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAWN.
- 2. DORMANT SEEDING**
- A. TEMPORARY SEEDING-AFTER NOVEMBER 1, USE MULCH ONLY.
- B. PERMANENT SEEDING- SEEDINGS SHOULD NOT BE PLANTED FROM OCTOBER 1 THROUGH NOVEMBER 20. THE FOLLOWING METHODS MAY BE USED TO MAKE A "DORMANT SEEDING".
1. FROM OCT. 1 THROUGH NOV. 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOV. 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
  2. FROM NOV. 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE SEEDBED, APPE AND FERTILIZE, APPLY THE SELECTED SEED MIXTURE, AND MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
- C. MULCHING
- A. MULCH SHALL CONSIST OF SMALL GRAIN STRAW (PREFERABLY WHEAT OR RYE) AND SHALL BE APPLIED AT THE RATE OF TWO TONS PER ACRE OR 100 POUNDS PER 1000 SF.
- B. SPREAD THE MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED.
- C. MULCH ANCHORING METHODS:
1. MECHANICAL- USE A DISK, CRUMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH INTO THE SOIL.
  2. ASPHALT BALLS-APPLY AT THE RATE OF 150 GALLONS PER ACRE INTO THE MULCH AS IT IS BEING APPLIED.
  3. MULCH NETTING-USE ACCORDING TO THE MANUF. RECOMMENDATIONS.
- D. IRRIGATION
- SUPPLY NEW SEEDLINGS WITH ADEQUATE WATER FOR PLANT GROWTH UNTIL THEY ARE FIRMLY ESTABLISHED.

**STABILIZATION:**

DISTURBED AREAS MUST BE STABILIZED AS FOLLOWS:

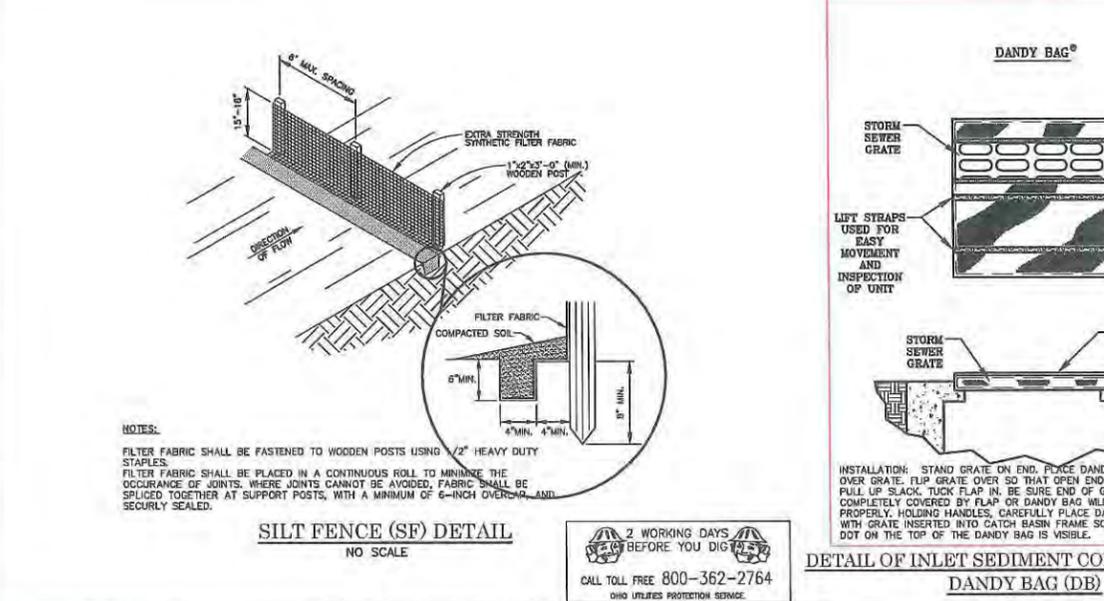
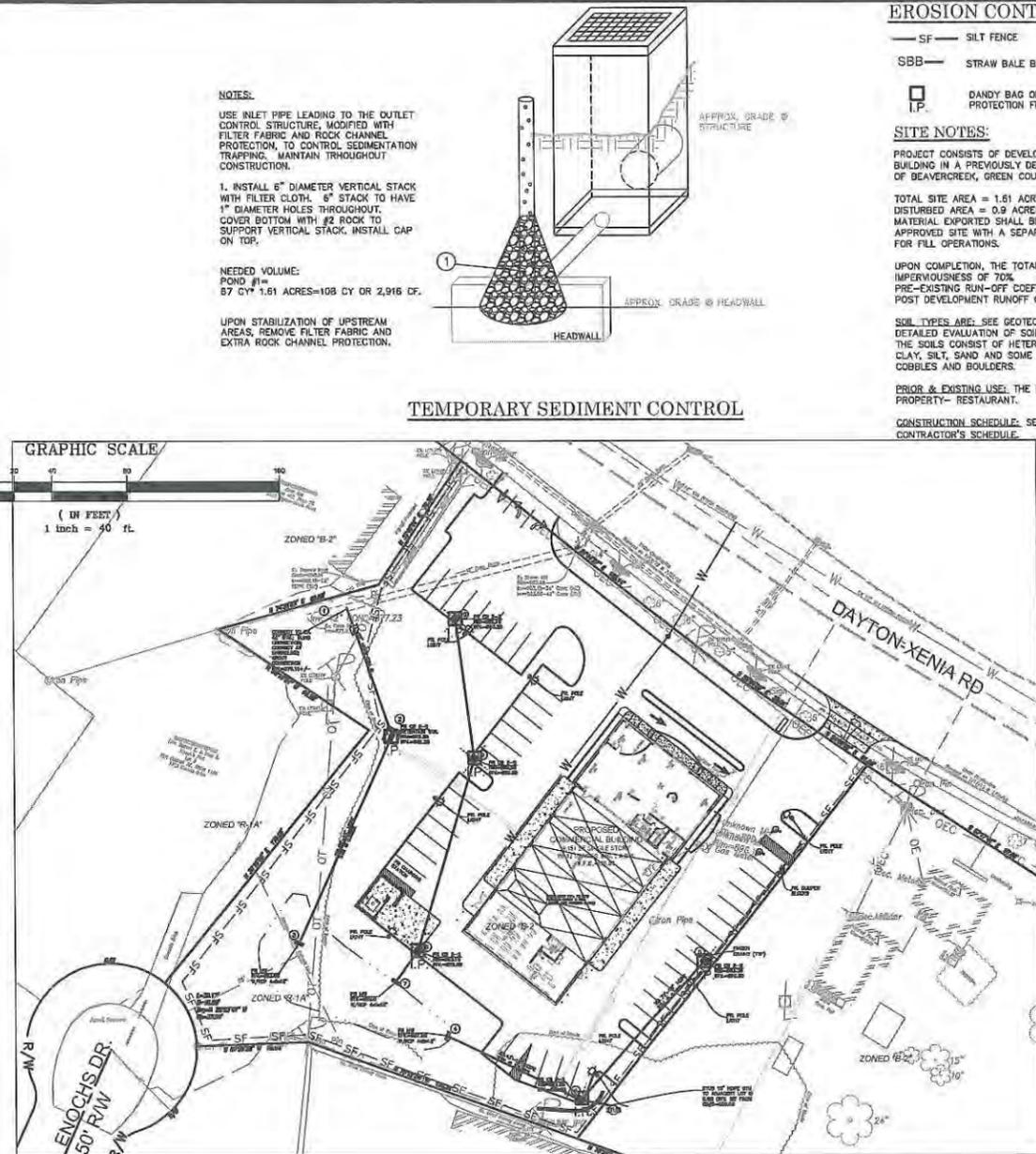
**PERMANENT STABILIZATION**

Area requiring permanent stabilization	Time frame to apply erosion controls
Any area that will be dormant for one year or more	Within seven days of the most recent disturbance
Any area within 50 feet of a stream and at final grade	Within two days of reaching final grade
All other areas of final grade	Within seven days of reaching final grade within 30 days

**TEMPORARY STABILIZATION**

Area requiring temporary stabilization	Time frame to apply erosion controls
Any disturbed areas within 50 feet of a stream and not at final grade	Within two days of the most recent disturbance and the area will be dormant for more than 21 days
For all construction activities, any disturbed areas that will be dormant for more than 21 days but less than one year, and not within 50 feet of a stream	Within seven days of the most recent disturbance within the area
Disturbed areas that will be left over water	Prior to the onset of winter weather

- CONSTRUCTION SEQUENCE:**
- THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:
1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
  2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
  3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
  4. INSTALL STORMWATER MANAGEMENT SYSTEMS. INLET FILTERS SHALL BE INSTALLED CONCURRENTLY WITH THE CONSTRUCTION OF THE STRUCTURE AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE, AND UPSTREAM AREAS HAVE BEEN STABILIZED.
  5. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
  6. GRADING OF ROADS, STREETS, OR PARKING AREAS, ETC.
  7. INSTALLATION OF ALL UTILITIES.
  8. SITE CONSTRUCTION.
  9. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
  10. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.



**EROSION CONTROL LEGEND**

- SF SILT FENCE
- SBB STRAW BALE BARRIER (DITCH CHECK)
- DANDY BAG OR APPROVED EQUAL INLET PROTECTION FILTER

**SITE NOTES:**

PROJECT CONSISTS OF DEVELOPING A COMMERCIAL BUILDING IN A PREVIOUSLY DEVELOPED SITE IN CITY OF BEAVERCREEK, GREEN COUNTY, OHIO.

TOTAL SITE AREA = 1.61 ACRES  
DISTURBED AREA = 0.9 ACRES  
MATERIAL EXPORTED SHALL BE TRANSPORTED TO AN APPROVED SITE WITH A SEPARATE AND ACTIVE PERMIT FOR FILL OPERATIONS.

UPON COMPLETION, THE TOTAL SITE WILL HAVE AN IMPERVIOUSNESS OF 70%.  
PRE-EXISTING RUN-OFF COEFFICIENT, C=0.75  
POST DEVELOPMENT RUNOFF COEFFICIENT, C=0.75

SOIL TYPES ARE: SEE GEOTECHNICAL REPORT FOR DETAILED EVALUATION OF SOIL TYPES. COMMONLY, THE SOILS CONSIST OF HETEROGENEOUS MIXTURE OF CLAY, SILT, SAND AND SOME GRAVEL WITH SCATTERED COBBLES AND BOULDERS.

PRIOR & EXISTING USE: THE PRIOR USE OF THE PROPERTY- RESTAURANT.

CONSTRUCTION SCHEDULE: SEE SEQUENCE & CONTRACTOR'S SCHEDULE.

STATE OF OHIO  
REGISTERED ENGINEER NO. 65653  
JONATHAN R. EVANS  
E-65533  
01/25/2016

REVISIONS  
BY NO. & DESCRIPTION  
DATE

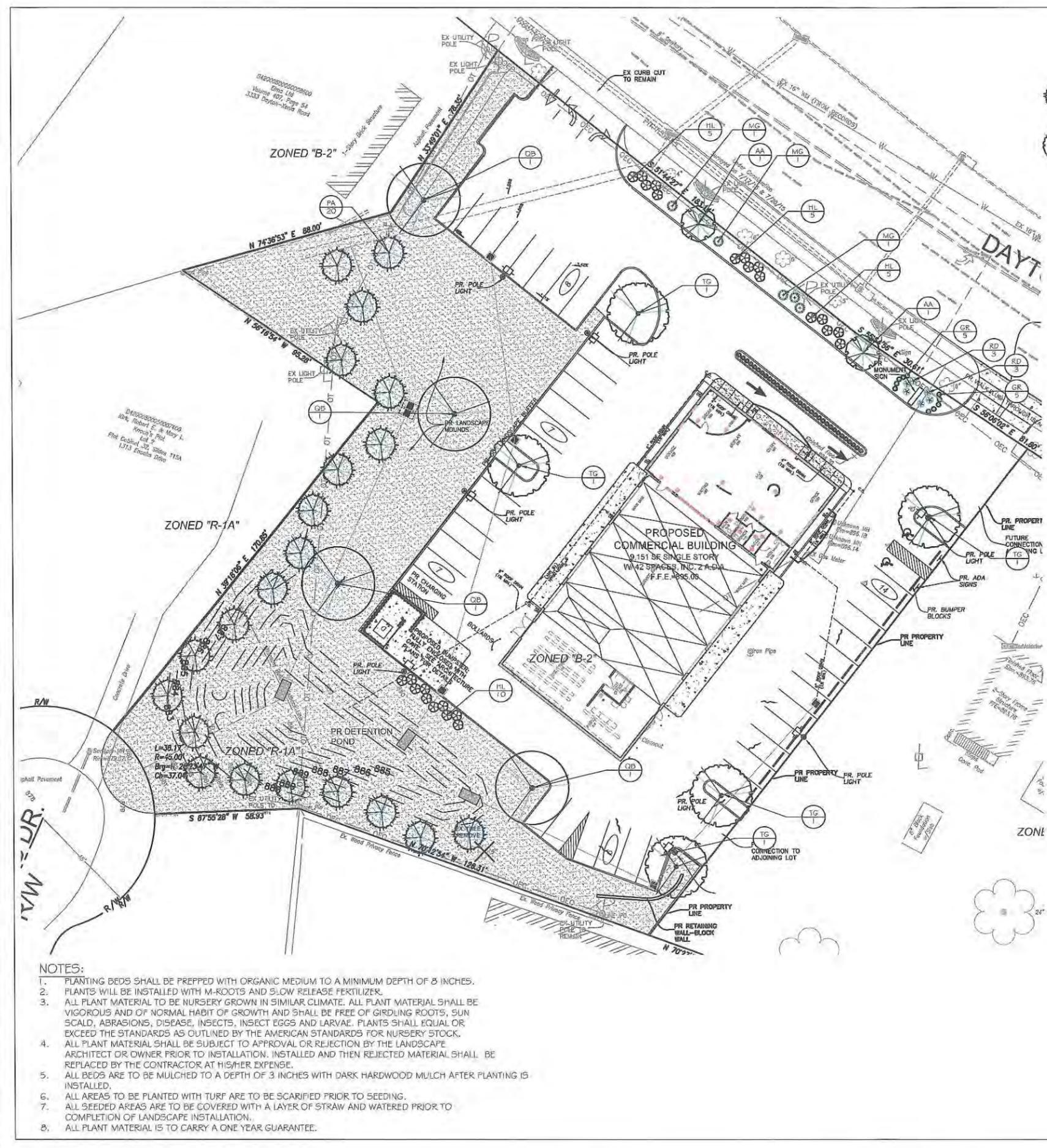
EVANS ENGINEERING  
4240 AIRPORT ROAD, SUITE 108  
CINCINNATI, OHIO 45226  
(513) 321-2168  
(513) 321-2173 FAX  
ATTN: JONATHAN R. EVANS, P.E.

BOB SUMEREL TIRE/AAA  
STORM WATER POLLUTION PREVENTION PLAN & NOTES  
3321 DAYTON-XENIA RD, CITY OF BEAVERCREEK, GREENE COUNTY, OHIO, 45432

SCALE: HORIZ. VERT.  
1"=40' N/A

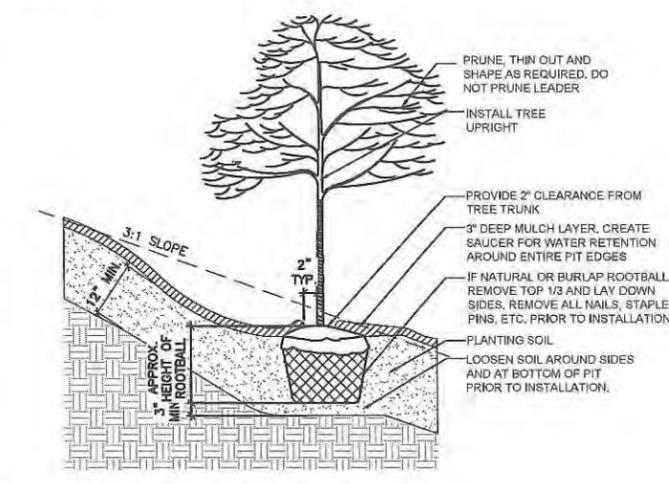
JOB NO. 15-153  
DATE JAN. 27, 2016

SHEET NO. C-5

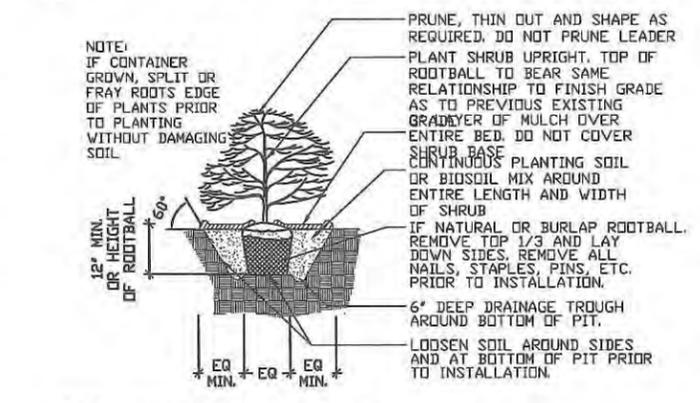


**PLANT SCHEDULE**

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE
	AA	2	Armstrong Red Maple	Acer rubrum 'Armstrong'	B & B		2' Cal
	FA	23	Norway Spruce	Picea abies	B & B		7-8'
	QB	4	Swamp White Oak	Quercus bicolor	B & B		2' Cal
	TG	5	Greenspire Littleleaf Linden	Tilia cordata 'Greenspire'	B & B		6-7' H
	HL	25	Limelight Hydrangea	Hydrangea paniculata 'Limelight' TM	3 gal		
	RD	7	Drift Strub Rose	Rosa Mexicana series	3 gal		
	GR	10	Hybrid Cranesbill	Geranium x 'Rozanne' TM	1 gal		
	PH	33	Hamelin Dwarf Fountain Grass	Festuca alopecuroides 'Hamelin'	2 gal		
	TD	28,734 sf	Turf Seed Drought Tolerant Dwarf Fescue Blend		Seed		

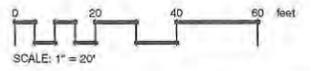


**1 TREE PLANTING DETAIL**  
SCALE: Not To Scale



**2 SHRUB PLANTING DETAIL**  
SCALE: Not To Scale

- NOTES:**
1. PLANTING BEDS SHALL BE PREPPED WITH ORGANIC MEDIUM TO A MINIMUM DEPTH OF 8 INCHES.
  2. PLANTS WILL BE INSTALLED WITH M-ROOTS AND SLOW RELEASE FERTILIZER.
  3. ALL PLANT MATERIAL TO BE NURSERY GROWN IN SIMILAR CLIMATE. ALL PLANT MATERIAL SHALL BE VIGOROUS AND OF NORMAL HABIT OF GROWTH AND SHALL BE FREE OF GIRDLING ROOTS, SUN SCALD, ABRASIONS, DISEASE, INSECTS, INSECT EGGS AND LARVAE. PLANTS SHALL EQUAL OR EXCEED THE STANDARDS AS OUTLINED BY THE AMERICAN STANDARDS FOR NURSERY STOCK.
  4. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL OR REJECTION BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION. INSTALLED AND THEN REJECTED MATERIAL SHALL BE REPLACED BY THE CONTRACTOR AT HIS/HER EXPENSE.
  5. ALL BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES WITH DARK HARDWOOD MULCH AFTER PLANTING IS INSTALLED.
  6. ALL AREAS TO BE PLANTED WITH TURF ARE TO BE SCARIFIED PRIOR TO SEEDING.
  7. ALL SEEDED AREAS ARE TO BE COVERED WITH A LAYER OF STRAW AND WATERED PRIOR TO COMPLETION OF LANDSCAPE INSTALLATION.
  8. ALL PLANT MATERIAL IS TO CARRY A ONE YEAR GUARANTEE.

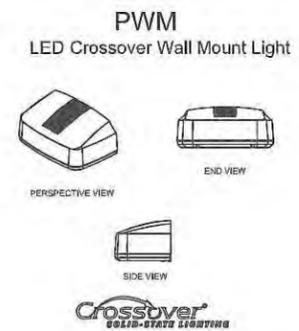
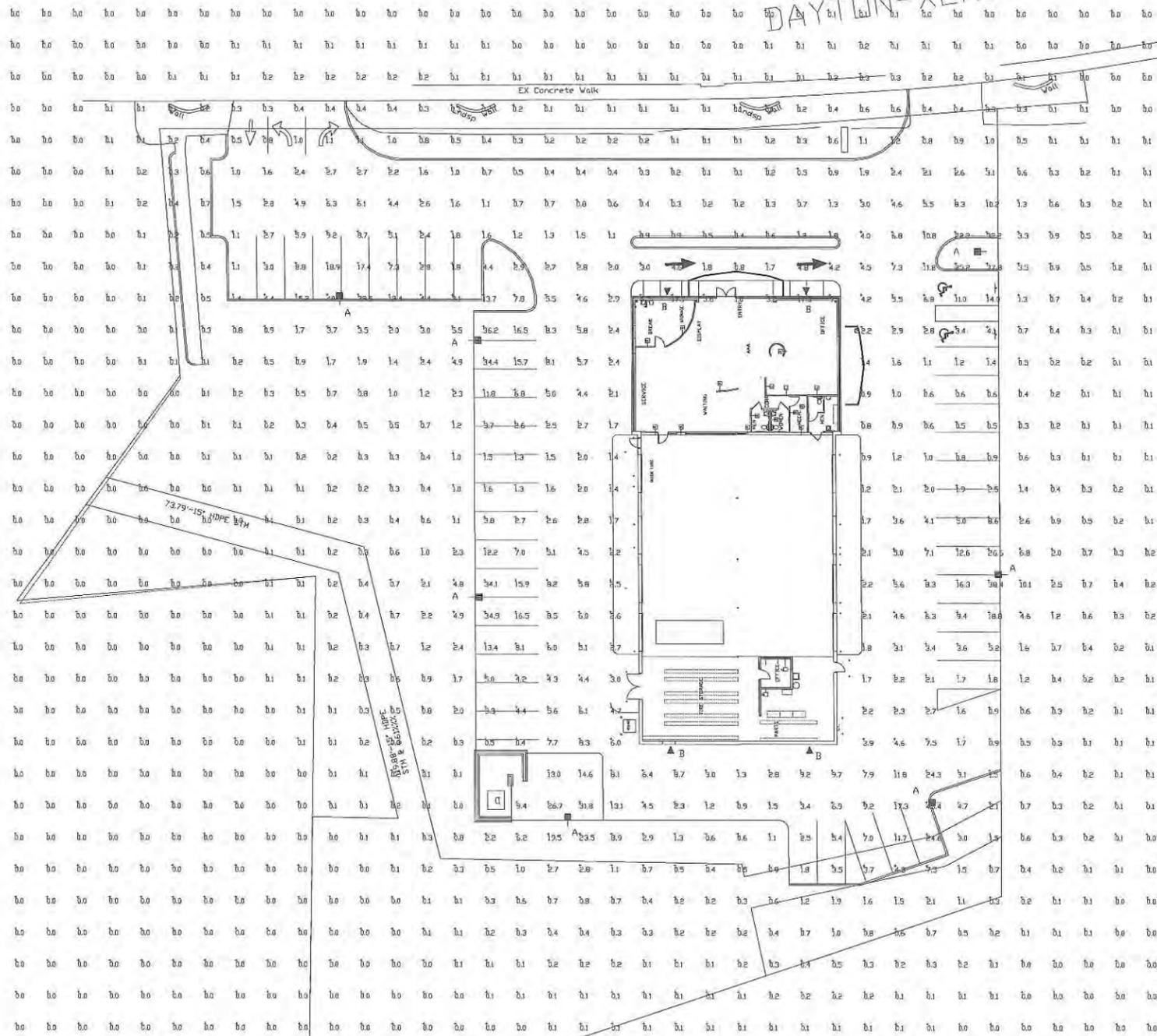


DAN DRUFFEL LANDSCAPING  
 P.O. BOX 307  
 MANVILLE, OH 46038

LANDSCAPE PLAN  
 BOB SLIVEREL, TRE / AAA  
 3221 Dayton - Xenig Road  
 BEEVERCREEK, OH 45432

Drawn By: B. DRUFFEL  
 Checked By: B. DRUFFEL  
 Date: DEC. 01, 2015  
 Scale: 1" = 10'-0"  
 Sheet: 1 of 1

DAYTON-XENIA RD



Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	7	A	SINGLE	XLCM-FT-LED-HQ-CV-SINGLE-14"POLE+2"BASE	1.000	N.A.	30937	275.6
	4	B	SINGLE	PWM-S-LED-HQ-CV-UE	1.000	N.A.	5184	55.6

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	1.89	43.4	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	5.55	43.4	0.1	55.50	434.00

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

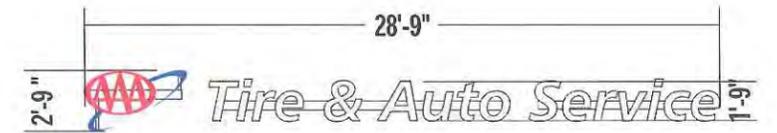
Total Project Watts  
Total Watts = 2151.6

LIGHTING PROPOSAL LD-130508-A

BOB SUMERAL, IRE  
3321 DAYTON-XENIA RD  
BEAVERCREEK, OH

DATE: 12-07-20 REV: 07-16 SHEET 1 OF 1

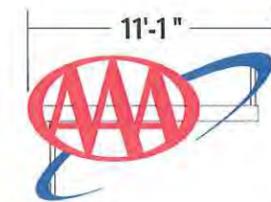
SCALE: 1"=20'



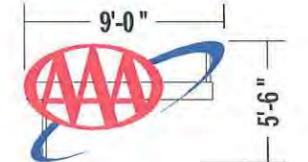
QTY: 2 - EAST & WEST ELEVATION

Sq. Ft. = 79.75 x 2 (159.5)

- Furnish & install one- (1) raceway mounted LED illuminated logo and letters
- AAA Logo
- Letter & logo are 5" deep fabricated aluminum, .090" backs welded to .063" sides
- Inside of letters/logo - painted white
- AAA Logo
- Outside returns - Swoops painted blue (PMS 287 match)
- AAA painted red (PMS 485 match)
- AAA face is 3/16" red and #2114 blue plexiglass with 1" red and blue trim cap
- Illumination: Red and White LEDs
- Tire & Auto Service Letters
- Returns - painted white
- Faces-3/16" white plex with 1" white trim cap
- Illumination -White LEDs
- Raceway - 5"x5" extruded aluminum, containing transformers and secondary wiring, painted to match facade
- UL Listed and Labeled



NORTH ELEVATION Sq. Ft. = 74.05



EAST ELEVATION Sq. Ft. = 49.5

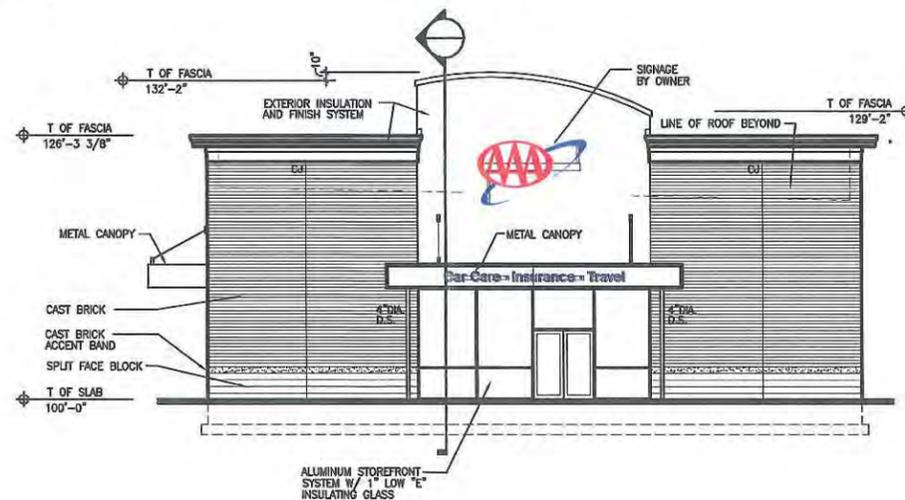
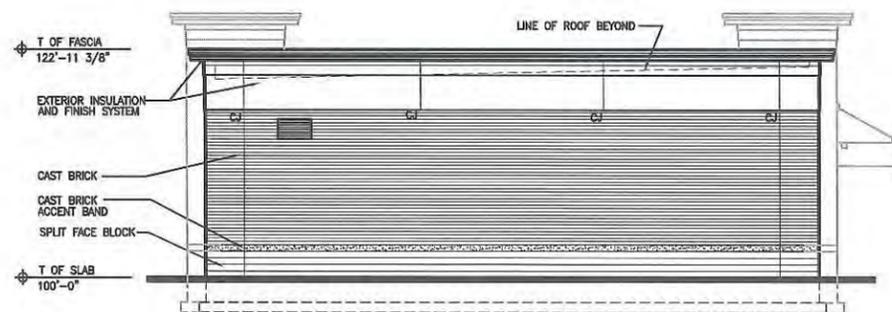
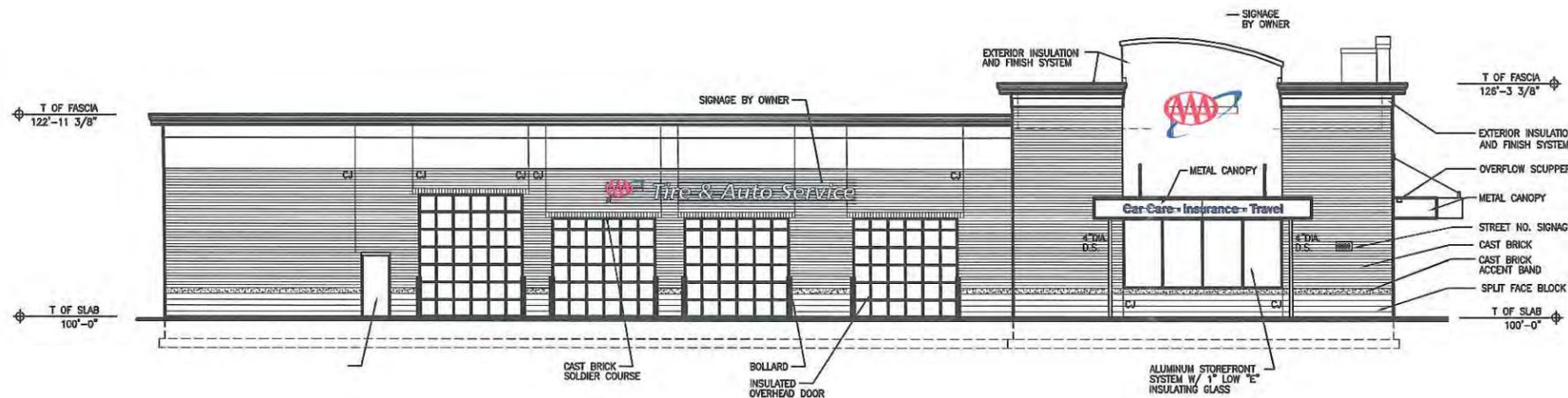
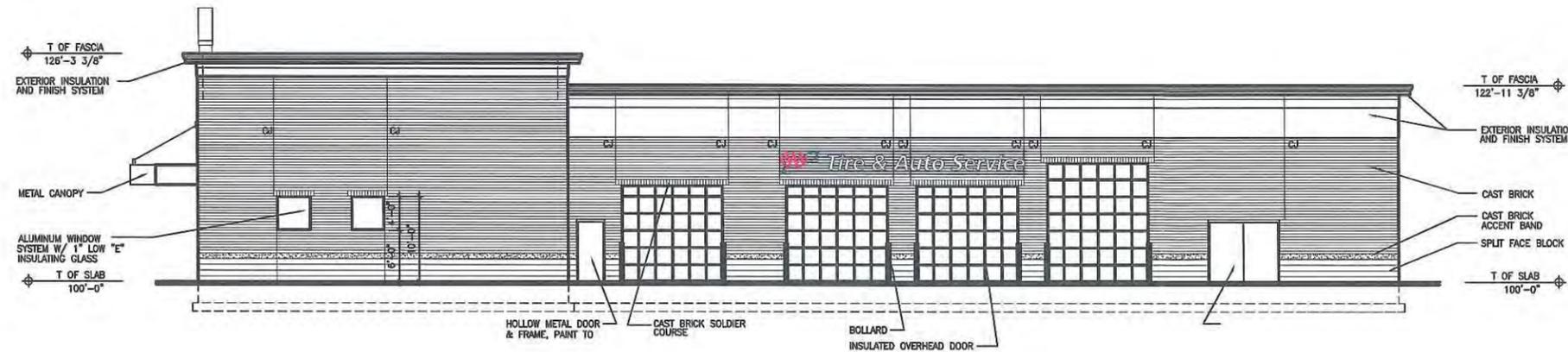


QTY: 2 - EAST & NORTH ELEVATION Sq. Ft. = 18.27 (36.54 Total)

- Furnish & install two- (2) set of raceway mounted LED illuminated channel letters and logos.
- Letters are 5" deep fabricated aluminum, .090" backs welded to .063" sides
- Inside of letters - painted white
- "Car Care Travel Insurance" returns - painted blue
- AAA returns - blue swoops; red oval
- "Car Care Travel Insurance" faces are 3/16" #2114 blue plexiglass with 1" blue trim caps
- AAA face is 3/16" red and #2114 blue plexiglass with 1" red and blue trim cap
- Illumination: Red and White LEDs
- Raceway - 5"x5" extruded aluminum, containing transformers and secondary wiring, painted to match
- UL Listed and Labeled

RECEIVED  
JAN 27 2018  
CITY OF BEAVERCREEK  
PLANNING DEPARTMENT

TOTAL SQ. FT. = 319.59



Bob Sumerei/AAA -3221 Dayton-Xenia Rd., Beaver Creek, Oh

FILE: BSAAA Beaver Creek CL-2

Approved By:

DATE: 1-28-16

Sales Rep: Mark Stottman

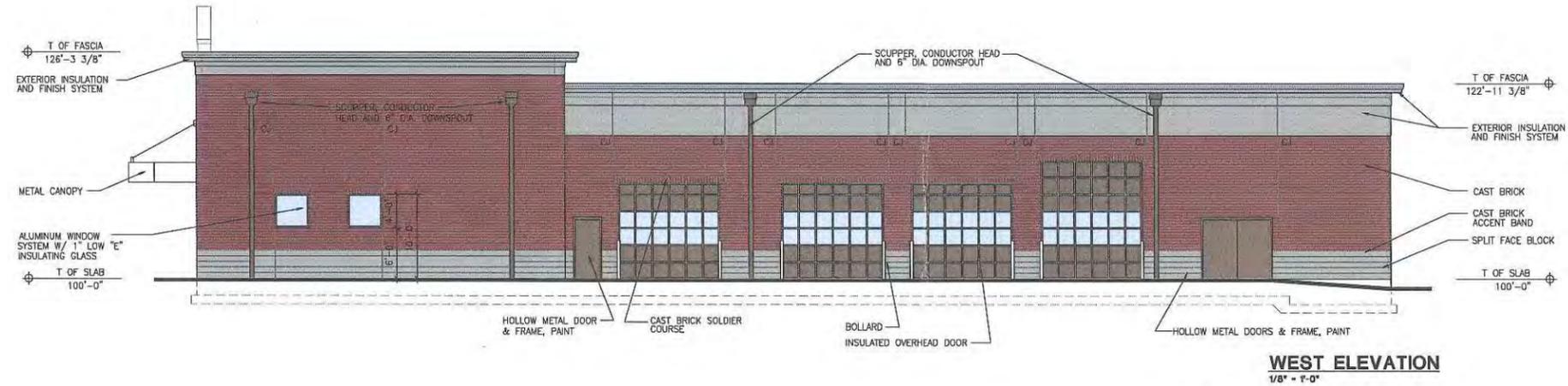
SCALE: 1/8" = 1'

DRAWN BY: WOODY FELLINGER

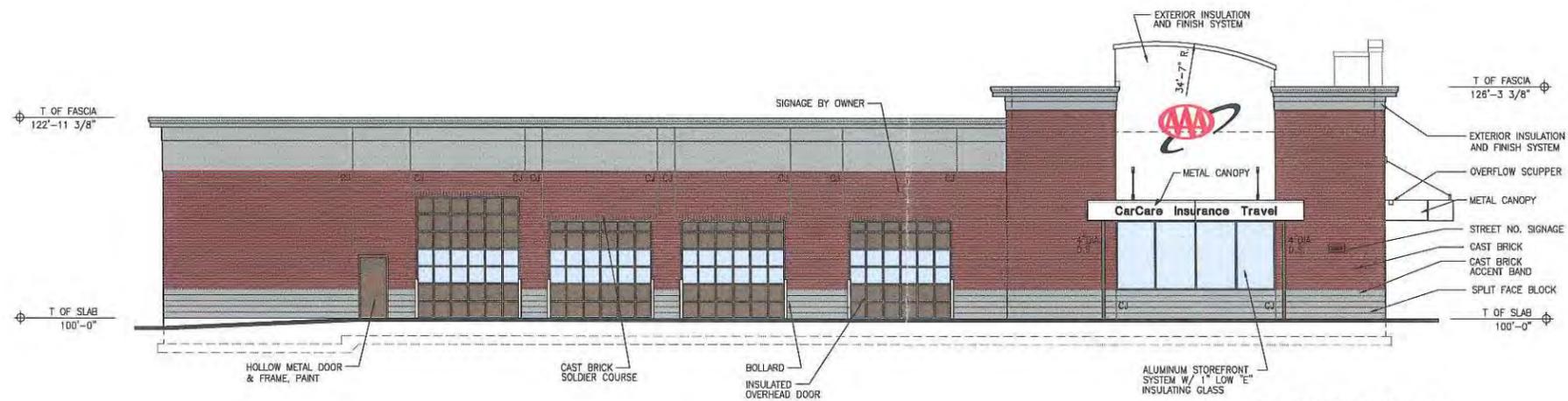
THE DESIGNS AND IDEAS EXPRESSED IN THIS DOCUMENT ARE THE SOLE PROPERTY OF QUALITY SIGNS INC. AND ARE NOT TO BE USED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF QUALITY SIGNS INC.



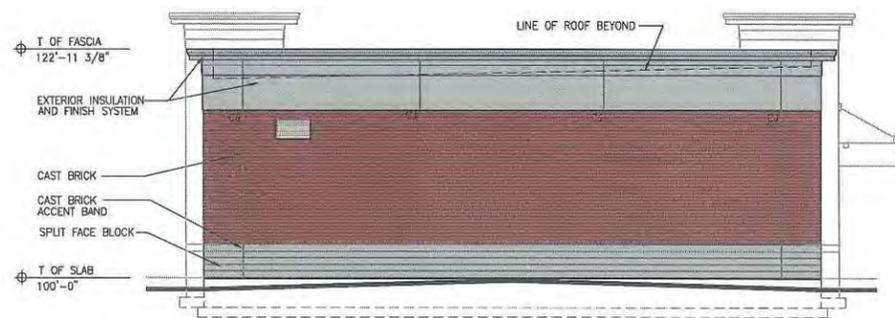
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**WEST ELEVATION**  
1/8" = 1'-0"



**EAST ELEVATION**  
1/8" = 1'-0"



**SOUTH ELEVATION**  
1/8" = 1'-0"



**NORTH ELEVATION**  
1/8" = 1'-0"

RECEIVED  
JAN 08 2016  
CITY OF BEAVERCREEK  
PLANNING DEPARTMENT



**TIRE AND AUTO SERVICE**

3321 DAYTON-XENIA ROAD  
BEAVER CREEK, OHIO



**Hub + Weber Architects, PLLC**

200 West Pike Street  
Covington, KY 41011  
Ph: 859-491-3844  
Fx: 859-655-3243  
hw@hubweber.com

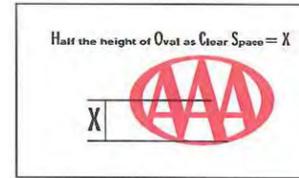
11.20.15

RECORD:

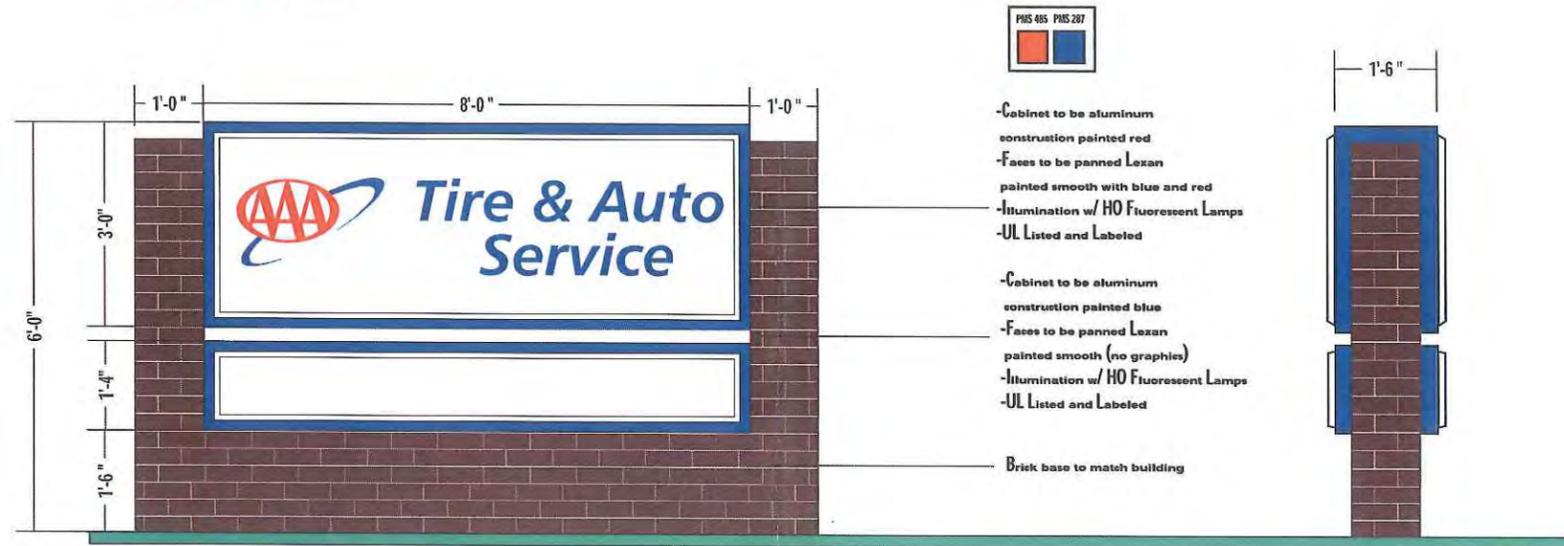
EXTERIOR ELEVATIONS

**A201**

1509\_065



Total Sq Ft  
Main Sign: 24.00  
Secondary Sign: 10.664



Bob Sumarel/AAA -3221 Dayton-Xenia Rd., Beaver Creek, Oh

FILE: BSAAA Beaver Creek Mon-4	Approved By	THE DESIGNS AND IDEAS EXPRESSED IN THIS DOCUMENT ARE THE SOLE PROPERTY OF QUALITY SIGNS INC. AND ARE NOT TO BE USED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF QUALITY SIGNS INC.
DATE: 2-11-16	Sales Rep. Mark Stottman	
SCALE: 3/8" = 1'	DRAWN BY: WOODY FELLINGER	



RECEIVED

FEB 16 2016

CITY OF BEAVERCREEK  
PLANNING DEPARTMENT

CITY OF BEAVERCREEK  
 CITY COUNCIL  
 AGENDA ITEM REPORT

1/18 2/7/16

Meeting Date: February 22, 2016	Reference Topic: Change of Corporate Stock Ownership Deccan Group LLC
Agenda Reference No: IX. A.	
	Accept without Comment

ACTION REQUESTED		
<input type="checkbox"/> Adopt Ordinance	<input type="checkbox"/> Adopt Resolution	<input type="checkbox"/> Review and Comment
<input type="checkbox"/> No Action Requested	<input checked="" type="checkbox"/> Accept Staff Recommendation	<input type="checkbox"/> Other _____

RESPONSIBLE DEPARTMENT OR AGENCY		
<input type="checkbox"/> Finance	<input type="checkbox"/> City Council	<input type="checkbox"/> Law
<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Engineering	<input type="checkbox"/> Planning & Zoning
<input checked="" type="checkbox"/> Police	<input type="checkbox"/> Public Service	<input type="checkbox"/> City Manager
<input type="checkbox"/> Clerk of Council	<input type="checkbox"/> Human Resources	<input type="checkbox"/> Other _____

**BACKGROUND AND STAFF SUMMARY:**

Ohio Division of Liquor Control sent police notification reference a change in corporate stock ownership for Deccan Group LLC DBA Banjara, 818 Factory Rd. Beaver creek, Ohio 45434. The records checks required by the Ohio Department of Commerce - Division of Liquor Control were conducted on the business officers/shareholders for this application request.

**STAFF RECOMMENDATION:**

Staff is recommending this application request move forward with no comment.

NOTICE TO LEGISLATIVE  
AUTHORITY

OHIO DIVISION OF LIQUOR CONTROL  
6606 TUSSING ROAD, P.O. BOX 4005  
REYNOLDSBURG, OHIO 43068-9005  
(614)644-2360 FAX(614)644-3166

TO

2013225 <small>PERMIT NUMBER</small>		STCK <small>TYPE</small>	DECCAN GROUP LLC DBA BANJARA 818 FACTORY RD BEAVERCREEK OHIO 45434	
05 14 2015 <small>ISSUE DATE</small>				
D1 D2 D3 <small>FILING DATE</small>				
29	005	A	F15477	
<small>TAX DISTRICT</small>		<small>RECEIPT NO.</small>		

FROM 02/03/2016

<small>PERMIT NUMBER</small>		<small>TYPE</small>		
<small>ISSUE DATE</small>				
<small>FILING DATE</small>				
<small>PERMIT CLASSES</small>				
<small>TAX DISTRICT</small>			<small>RECEIPT NO.</small>	



MAILED 02/03/2016

RESPONSES MUST BE POSTMARKED NO LATER THAN. 03/07/2016

**IMPORTANT NOTICE**

PLEASE COMPLETE AND RETURN THIS FORM TO THE DIVISION OF LIQUOR CONTROL  
WHETHER OR NOT THERE IS A REQUEST FOR A HEARING.  
REFER TO THIS NUMBER IN ALL INQUIRIES **A STCK 2013225**

(TRANSACTION & NUMBER)

(MUST MARK ONE OF THE FOLLOWING)

WE REQUEST A HEARING ON THE ADVISABILITY OF ISSUING THE PERMIT AND REQUEST THAT  
THE HEARING BE HELD  IN OUR COUNTY SEAT.  IN COLUMBUS.

WE DO NOT REQUEST A HEARING.

DID YOU MARK A BOX? IF NOT, THIS WILL BE CONSIDERED A LATE RESPONSE.

PLEASE SIGN BELOW AND MARK THE APPROPRIATE BOX INDICATING YOUR TITLE:

(Signature)

(Title)-  Clerk of County Commissioner

(Date)

Clerk of City Council

Township Fiscal Officer

**CLERK OF BEAVERCREEK CITY COUNCIL  
1368 RESEARCH PARK DR  
BEAVERCREEK OHIO 45432**

D8 \$500 ORC 4303.184 Sale of tasting samples of beer, wine, and mixed beverages, but not spirituous liquor, at retail, for consumption on premises.

## Restaurant / Night Club

Permit Class	Permit Fee	Description
D1	\$376	<u>ORC 4303.13</u> Beer only for on premises consumption or in original sealed containers for carry out only until 1:00am.
D2	\$564	<u>ORC 4303.14</u> Wine and mixed beverages for on premises consumption or in original sealed containers for carryout only until 1:00am.
D2X	\$376	<u>ORC 4303.141</u> (Grandfathered Permit) Beer only for on premises consumption or in original sealed containers for carryout only until 1:00am.
D3	\$750	<u>ORC 4303.15</u> Spirituous liquor for on premises consumption only until 1:00am.
D3X	\$300	<u>ORC 4303.151</u> (Grandfathered Permit) Wine only for on premises consumption or in original sealed containers for carryout only until 1:00am.
D3A	\$938	<u>ORC 4303.16</u> Extend issued permit privileges until 2:30am.
D5	\$2,344	<u>ORC 4303.18</u> Spirituous liquor for on premises consumption only, beer, wine and mixed beverages for on premises, or off premises in original sealed containers, until 2:30am.
D5I	\$2,344	<u>ORC 4303.181</u> (Same as D5). Restaurant meeting certain criteria.
D7	\$469	<u>ORC 4303.183</u> (Same as D5). RESORT area only.

## Club

Permit Class	Permit Fee	Description
D4	\$469	<u>ORC 4303.17</u> Beer and any intoxicating liquor to members only, for on premises consumption only until 1:00am.
D4A	\$750	<u>ORC 4303.171</u> Airline club only - Beer and any intoxicating to members and guests until 2:00am.
D5C	\$1,563	<u>ORC 4303.181</u> (Same as D5.)(This class can no longer be applied for.)
D5D	\$2,344	<u>ORC 4303.181</u> (Same as D5) located at airport.

## Hotel And Motel

Permit Class	Permit Fee	Description
D5A	\$2,344	<u>ORC 4303.181</u> (Same as D5) for hotel or motel with 50 or more rooms for transient guests.

## Enclosed Shopping Mall

CITY OF BEAVERCREEK  
CITY COUNCIL  
AGENDA ITEM REPORT

WAC 2/7/16

Meeting Date: February 22, 2016	Reference Topic: Request for New Liquor Permit Lake Venture LLC DBA Fresh Thyme Farmers Market
Agenda Reference No: IX. B.	Accept without Comment

ACTION REQUESTED		
<input type="checkbox"/> Adopt Ordinance	<input type="checkbox"/> Adopt Resolution	<input type="checkbox"/> Review and Comment
<input type="checkbox"/> No Action Requested	<input checked="" type="checkbox"/> Accept Staff Recommendation	<input type="checkbox"/> Other _____

RESPONSIBLE DEPARTMENT OR AGENCY		
<input type="checkbox"/> Finance	<input type="checkbox"/> City Council	<input type="checkbox"/> Law
<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Engineering	<input type="checkbox"/> Planning & Zoning
<input checked="" type="checkbox"/> Police	<input type="checkbox"/> Public Service	<input type="checkbox"/> City Manager
<input type="checkbox"/> Clerk of Council	<input type="checkbox"/> Human Resources	<input type="checkbox"/> Other _____

**BACKGROUND AND STAFF SUMMARY:**

Ohio Division of Liquor Control sent police notification reference a new D2 liquor permit for Lake Venture LLC, DBA Fresh Thyme Farmers Market, 2850 Centre Dr. Beavercreek, Ohio 45324. The records checks required by the Ohio Department of Commerce - Division of Liquor Control were conducted on the business officers/shareholders for this application request.

**STAFF RECOMMENDATION:**

Staff is recommending this application request move forward with no comment.

NOTICE TO LEGISLATIVE  
AUTHORITY

OHIO DIVISION OF LIQUOR CONTROL  
6606 TUSSING ROAD, P.O. BOX 4005  
REYNOLDSBURG, OHIO 43068-9005  
(614)644-2360 FAX(614)644-3166

TD

49794490030 <small>PERMIT NUMBER</small>		N <small>TYPE</small>	LAKES VENTURE LLC DBA FRESH THYME FARMERS MARKET 2850 CENTRE DR STE E BEAVERCREEK OH 45324	
ISSUE DATE				
02 01 2016 <small>FILING DATE</small>				
D2 <small>PERMIT CLASSES</small>				
29 <small>TAX DISTRICT</small>	005 <small>PERMIT CLASSES</small>	A	B12168 <small>RECEIPT NO.</small>	

FROM 02/05/2016

PERMIT NUMBER		TYPE
ISSUE DATE		
FILING DATE		
PERMIT CLASSES		
TAX DISTRICT		RECEIPT NO.



MAILED 02/05/2016

RESPONSES MUST BE POSTMARKED NO LATER THAN. 03/07/2016

**IMPORTANT NOTICE**

PLEASE COMPLETE AND RETURN THIS FORM TO THE DIVISION OF LIQUOR CONTROL  
WHETHER OR NOT THERE IS A REQUEST FOR A HEARING.

REFER TO THIS NUMBER IN ALL INQUIRIES

**A N 4979449-0030**

(TRANSACTION & NUMBER)

(MUST MARK ONE OF THE FOLLOWING)

WE REQUEST A HEARING ON THE ADVISABILITY OF ISSUING THE PERMIT AND REQUEST THAT  
THE HEARING BE HELD  IN OUR COUNTY SEAT.  IN COLUMBUS.

WE DO NOT REQUEST A HEARING.

DID YOU MARK A BOX? IF NOT, THIS WILL BE CONSIDERED A LATE RESPONSE.

PLEASE SIGN BELOW AND MARK THE APPROPRIATE BOX INDICATING YOUR TITLE:

(Signature)

(Title)-  Clerk of County Commissioner

(Date)

Clerk of City Council

Township Fiscal Officer

**CLERK OF BEAVERCREEK CITY COUNCIL  
1368 RESEARCH PARK DR  
BEAVERCREEK OHIO 45432**

D8 \$500 ORC 4303.184 Sale of tasting samples of beer, wine, and mixed beverages, but not spirituous liquor, at retail, for consumption on premises.

## Restaurant / Night Club

Permit Class	Permit Fee	Description
D1	\$376	<u>ORC 4303.13</u> Beer only for on premises consumption or in original sealed containers for carry out only until 1:00am.
D2	\$564	<u>ORC 4303.14</u> Wine and mixed beverages for on premises consumption or in original sealed containers for carryout only until 1:00am.
D2X	\$376	<u>ORC 4303.141</u> (Grandfathered Permit) Beer only for on premises consumption or in original sealed containers for carryout only until 1:00am.
D3	\$750	<u>ORC 4303.15</u> Spirituous liquor for on premises consumption only until 1:00am.
D3X	\$300	<u>ORC 4303.151</u> (Grandfathered Permit) Wine only for on premises consumption or in original sealed containers for carryout only until 1:00am.
D3A	\$938	<u>ORC 4303.16</u> Extend issued permit privileges until 2:30am.
D5	\$2,344	<u>ORC 4303.18</u> Spirituous liquor for on premises consumption only, beer, wine and mixed beverages for on premises, or off premises in original sealed containers, until 2:30am.
D5I	\$2,344	<u>ORC 4303.181</u> (Same as D5). Restaurant meeting certain criteria.
D7	\$469	<u>ORC 4303.183</u> (Same as D5). RESORT area only.

## Club

Permit Class	Permit Fee	Description
D4	\$469	<u>ORC 4303.17</u> Beer and any intoxicating liquor to members only, for on premises consumption only until 1:00am.
D4A	\$750	<u>ORC 4303.171</u> Airline club only - Beer and any intoxicating to members and guests until 2:00am.
D5C	\$1,563	<u>ORC 4303.181</u> (Same as D5.)(This class can no longer be applied for.)
D5D	\$2,344	<u>ORC 4303.181</u> (Same as D5) located at airport.

## Hotel And Motel

Permit Class	Permit Fee	Description
D5A	\$2,344	<u>ORC 4303.181</u> (Same as D5) for hotel or motel with 50 or more rooms for transient guests.

## Enclosed Shopping Mall

interoffice  
MEMORANDUM

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**To:** Beavercreek City Council  
**From:** Dianne Lampton, Clerk of Council   
**Subject:** Appointments - Boards, Commissions, and Committees  
**Date:** February 18, 2016

Attached are the applications received for the current open vacancies.

The appointments you will be making will be for the open vacant terms of March 1, 2016 through February 28, 2019 unless otherwise noted.

**Bikeway and Non-Motorized Transportation Advisory Committee**  
2 Vacancies

**Board of Zoning Appeals**  
2 Vacancies

**Environmental Advisory Board**  
3 Vacancies  
Plus the following open terms:  
03/01/15 – 02/28/18  
03/01/15 – 02/28/18  
03/01/14 – 02/28/17

**Impact Fee Appeals Board**  
2 Vacancies  
Plus the following open terms:  
03/01/14 – 02/28/17  
03/01/15 – 02/28/18

Jason Scott has applied for the Personnel Board. He currently has a position on the Impact Fee Appeals Board. If appointed to the Personnel Board, this will leave another vacancy for the term of 03/01/14 – 02/28/17.

**Investment Committee**  
1 Vacancy

**Parks, Recreation and Culture Board**  
1 Vacancy

**Personnel Board**  
1 Vacancy

**Planning Commission**

2 Vacancies

Plus the following open term:

03/01/14 – 02/28/17\*

\*This vacancy occurred due to the resignation of Bob Stone effective December 31, 2015 who was elected Mayor.

**Youth Development Committee**

7 Vacancies

Please note Amy Hamilton has resided on this board for many years. She has now moved out of Beavercreek but would like to continue as an *Ex Officio* member.

**Greene County Board of Health**

The appointments for this Board come from the recommendation of the Greene County Board of Health. There are currently 2 vacancies who represent the City of Beavercreek. It has been recommended by the Greene County Public Health Department that Andy Root and Charlene Montague be re-appointed.

# 2016 Board Commission Applicants

	Last Name	First Name	Incumbent	Bikeway Advisory	Board of Zoning Appeals	Environmental	Greene County Board of Health	Impact Fee Appeals	Investment	Parks, Recreation & Culture	Personnel	Planning Commission	Youth Council
	<b>VACANCIES</b>												
1	Bieghler	Cynthia											
2	Cumutte	Charles						1		5	2	3	
3	DeMarey	Barbara		2						3			1
4	Erbes	Troy	X		2							1*	
5	Hamilton	Amy	X										1**
6	Hight	Alex									1	3	2
7	Johnson	Ryan	X						1*				
8	Loftis	Nicholas		2		3		4			5	1	
9	Macbeth	Candace											1
10	Meyer	Candi								1			
11	Montague	Charlene	X				1*						
12	Morter	Joe			1								1*
13	Poth	Annette	X										
14	Ray	Norman		1									
15	Root	Andrew	X				1*						
16	Rushing	Ryan	X		2*							1	
17	Scott	Jason									1		
18	Self	Mike	X		2							1*	
19	Valdes	Thomas	X										1*
20	Walling	Jerry	X										
21	Yancey	Amanda					1*						1
22													
23													

\* Incumbent

Inter-Office Memorandum

February 10, 2016

To: Michael A. Cornell, City Manager  
Mayor Stone, Vice Mayor Vann and City Council Members

From: Bill Kucera, Financial Administrative Services Director

Subject: Financial Analysis – Fiscal Year 2015

Attached you will find a “Summary of Revenue and Expenditures” report that the Finance Department generates quarterly to monitor the budget. This report (Exhibit 1) illustrates revenue and expenditures for fiscal year 2015.

This high level review is designed to provide you a quick glance of the City’s revenues and expenditures to assist in monitoring the financial condition of the City. Included with this report is the 2015 amended budget (amended means it includes additional appropriations and estimated resources approved by Council after the initial appropriation ordinance was passed in December 2014), along with year-to-date revenues and expenditures.

Below I have highlighted some areas that have significant variances between either what was budgeted compared to actual or in comparison to last year’s revenues and expenditures (See Exhibit 1). You will note that only the major funds are depicted in this review.

**General Fund:**

***Revenues:***

*Property Tax Revenue:* The City has received all of the property taxes for the year. Based on the County Auditor’s conservative estimates and the collection of delinquent taxes the City received \$31k more than what was budgeted, but \$17k less than last year representing a 1.3% decrease.

*Intergovernmental Revenues:* It was anticipated that this category would see a significant decrease in revenue as a result of the States elimination of the estate tax. This year the City received \$23k in estate taxes while last year the City received over \$159k in estate taxes.

Local government taxes have stabilized at a 50% reduction from the States 2011 distribution levels. The City has received \$401k compared to \$359k last year which is an increase of approximately \$41k or 11.6%. This was also \$31k more than the 2015 budgeted amount.

Hotel/Motel tax is \$23k or 6.5% more than last year and \$43k more than the 2015 budget. Franchise fees received from Time Warner and AT&T were \$21k or 3.3% over last year and were \$43k or 12.9% more than the 2015 budget. Due to the recent flurry of new construction, planning and zoning fee revenue is \$104k, an increase of \$43k over last year but \$4k below the 2015 budget.

*Charges for Services:* Cemetery revenue for 2015 was \$88k representing a 9.2% increase over last year and \$17k over the 2015 budget.

*Interest Revenue:* 2015 revenue was \$54.5k which is an increase of \$10 or 23% more than last year and exceeded the 2015 budget by \$14k or 36% . Attached is Exhibit 4 which is the year end recap of all

investments for your review. The Investment Committee met in December 2015 and did not recommend any changes to the City's investment policy or investment philosophy at that time.

*Other Revenues/Transfers:* Interfund transfer revenue increased by \$72k or 11.9% over last year as a result of calculating and updating the administrative fees allocated per the City policy for the major operating funds. In addition, with the passage of the new park levy, administrative charges are now being assessed to the Park Levy fund for administrative services provided.

***Expenditures:***

As noted in the year to date column of Exhibit 1, total expenditures for the General Fund were \$3.9m which is \$193k below the 2015 budget. All of the departments are showing a slight increase due to the increase in wages and benefits costs with the exception of City Manager, Information Technology, Contractual Services and District Lighting. The \$62k decrease in the City Manager's budget was the result of not filling the Acting City Manager position as budgeted. Contractual Services division was significantly less this year as a result of the RTA transportation issue that generated additional expenditures last year. Transfers Out is showing an increase of \$287k which is the result of the new monthly transfer from the General Fund to the Parks Levy Fund to cover capital and operating costs.

**Police Fund:**

***Revenues:***

The City received \$936k or 13.2% more in property tax than last year as a result of the eight tenths of a mill increase in the Police levy approved by residents in May 2014. In addition, based on the conservative estimates of the County Auditor the City received \$395k more in property taxes than budgeted. This represents an increase of 5.2% over the 2015 budget.

*Charges for Services:* Charges for services reveals an increase of \$37.5k over last year which is the result of the new School Resource Officer agreement with the Schools signed in 2014. This new agreement included increases in the number of hours being allocated to the school which resulted in an increase in the percentage of expenses recovered from 50% to 60%, which includes wages and benefits.

*Other Revenue:* Extra duty reimbursements continue to show increased activity as a result of the Franklin University agreement and various other special duty engagements. This includes street construction projects that required our City Police Department for traffic control, and recent activity at Wright Patt Credit Union. Extra Duty revenue totals \$123k for 2015 which is an increase of \$16k over the adjusted 2015 budget and a \$61k or 101% increase over last year at this time. The costs associated with these extra duty reimbursements are offset in the "Off Duty Trust Account" division.

***Expenditures:***

Police Department expenditures were 90% of the 2015 budget, which represents a \$244k or 3% increase from the 2014 budget. All divisions were lower than the original 2015 budget except for the "Off Duty Trust Account" that was identified above. Although below the annual budget the Allocable Support division is showing a \$154k increase over last year mainly due to a significant increase in attorney fees related to the current litigation. An additional appropriation of \$75k was approved by Council in August to increase the budget to the projected amount of expenditures for 2015. All other expenditures were in line with the budget.

Another critical item that we continue to monitor is overtime and compensatory time (See Overtime and Comp Time Analysis, Exhibit 3). Police overtime increased for 2015 was \$113k (or 49.3%) compared to last year, but still right on the 2015 budget. In addition, there was a corresponding increase in

compensatory (comp) time hours where the time accrued in 2015 increased by 223 hours (or 9.6%) when compared to last year. Much of the overtime was the result of being well below the budgeted full time equivalents for much of the year. Recently, the Police added several employees and communications operators to fill vacant positions. In addition, the City received two grants from the Ohio Department of Public Safety. These two grants are for increased patrols for impaired driving and selective traffic enforcement programs. These grants reimburse the City for overtime and benefits related to these enforcement programs that are in place throughout the year. Also, the City continues to provide off-duty Police Officers for Franklin University, for traffic control on major street projects throughout the City and most recently to Wright Patterson Credit Union after several threats were received at their corporate offices. Therefore, the majority of accrued overtime will be reimbursed directly by the aforementioned companies or street construction vendors. Also, despite the increase in comp time hours accrued, officers and communications operators are using their comp time so that the total accrued hours balance in 2015 was actually 47 hours less than 2014. The accrued liability for these hours total approximately \$103k.

### **Street Levy Fund:**

#### ***Revenues:***

Property tax revenue was \$264k or 6.5% more than the conservative 2015 budget. However, this represents only 19k or .5% more than received in 2014. This will be used as carryover in the 2016 budget to sustain the 15% fund balance requirement. Refunds and Reimbursements is showing a substantial increase from the previous year as a result of the timing of the \$12k annual payment by ODOT for street light operations and maintenance of the lights at the I-675 ramps. In addition, the City sold an obsolete pot hole patcher and received \$32k from the sale of this asset.

#### ***Expenditures:***

Overall, operating expenditures were only \$4.3m or 88% of the 2015 budget, which represents a 19.6% decrease from last year. Operationally, the City budgets for a normal snow and ice occurrence year. This year was a bit milder as we had 17 events this year compared to 27 last year. This and the City's new salt application process designed to conserve salt utilization resulted in approximately 4,000 tons of material used this year compared with 7,500 last year (a decrease of 47%). The reduced number of events also resulted in a decreased use of overtime which was \$17.7k or 11.5% less than 2014. (See Exhibit 3). Partially offsetting the overtime reduction was the increase in accrued comp time which totaled 1,313 hours, or 71 hours (6%) more than last year. Other operational savings included the City participating in two diverse salt cooperative purchases. This coupled with the lower market price allowed the City to buy salt at an average of \$70 per ton versus \$99 per ton last year.

In addition, the straight line long striper purchase was postponed in 2015 and rebudgeted in 2016 to ensure the City had enough funds for the upcoming winter season.

### **Street Maintenance & State Highway Fund:**

#### ***Revenues:***

The Street Maintenance Fund (Fund 204) receives the majority of its funding through gasoline taxes and motor vehicle licensing. Revenue received from gasoline taxes were \$1.6m which was \$81k or 5.4% more than the 2015 budget.

#### ***Expenditures:***

Overall, expenditures were \$2.3m or 87% of the 2015 budget, which represents a 17.5% decrease from last year. All divisions including capital were below the 2015 budget. The operating side had decreases in salt purchases, operating materials (aggregate used with salt) along with lower gas and diesel usage and reductions in fuel prices. Due to the unusual salt shortage last year, the City purchased over \$282k

of salt last year at \$99 per ton in the Street Maintenance Fund. This year the City purchased \$146k tons using the ODOT cooperative at \$72 per ton. The second cooperative bid the City participated in with SWO4G was for \$67.89 and delivery is on demand not delivered on a specific date. These variables which affected the timing of salt purchases are the main reason expenditures are 45% lower than 2014 at this time.

**Street Capital Improvement Fund (260):**

The City received \$2.45m in property taxes which was \$96k less than was budgeted. This represents a 3.8% reduction in anticipated revenue. This was the first year of the program and the annual paving allocation allowed the City to increase the repaving program and resulted in 13.87 miles completed in 2015 versus 6.02 miles completed in 2014. In addition, the new curb program was initiated and well received by the residents. Although not all funds were expended at the end of the year on a cash basis, the City has encumbered over \$2.6m that had been committed but not paid at the end of the fiscal year.

**Recreation Levy Fund (279):**

The property taxes received from this new levy totaled \$1.14m which was slightly less than budgeted. Total revenue was \$2.08 which exceeded the 2015 projected revenue by \$29k. The City also implemented the monthly transfer from the General Fund to the Park Levy fund per the funding requirements noted in the 2015 budget. Expenditures were \$1.7m with encumbrances totaling .2m representing 91% of the 2015 budget. Several capital improvement projects were completed in 2015 including Virgallito playground resurfacing, new skate equipment at Lofino Skate Park, Alpha Mill Museum Roof and several other projects are under contract including the repaving of Lofino tennis courts and the architecture/construction options for Lofino Plaza.

**Golf Course:**

**Revenues:**

Golf and Pro Shop: The weather plays a significant role on the revenue at the golf course. The golf course got off to a slow start and then rebounded with a mild March. May was one of the best months at the golf course in recent years only to have those gains be diminished by 10 inches of rain in June (normally 4 inches). The unseasonably mild last two months of the year enable the golf course to have 2,100 additional rounds.

This resulted in 27,300 rounds being played which was an increase of 2,942 from the previous year. Increased rounds resulted in green fee and cart fee revenue increasing \$51k or 8.7% over last year and a \$19.4k or 3.2% increase over the 2015 budget. This also increased ancillary sales such as range fees, (\$34k or \$7.2k over budget) beverage cart, and grill room sales which were \$1,300 over last year. Merchandise and special order sales were exactly on budget at \$119k but decreased \$13k or 10% from last year. Profit margins on the merchandise sales averaged 24%.

Season pass sales are approximately \$96k a slight \$5k or 6.0% increase over last year. This exceeded the 2015 budget which was at \$88k.

The course experienced another interior water line break February 21<sup>st</sup>, and two the previous year. After these incidents, a complete analysis of all the pipes was completed and no other significant issues were found. With the age of the building, now exceeding 19 years, the preventative plan was to add more insulation to all pipes above the drop ceilings. This was recently completed.

Golf outings booked increased by 539 rounds bringing the total to 2,933 rounds. This is a solid 23% increase over the outing rounds in 2014. These additional bookings resulted in an increase in revenue

of approximately \$14k. Three of these new outings have over 100 players and all new 2015 outing have already been rebooked for 2016.

In addition, at the end of July the golf course hosted the Miami Valley Golf Association Metropolitan Tournament. This is the big event of the year for competitive amateur golfers in the area. Ninety-six people participated, many of which have never played the course before. This is only the second time in the 90 year history of the tournament that the event was held at a public access facility.

The golf course also started a new promotion which allowed juniors (under age 12) to play free with a paying adult. This resulted in 239 rounds which contributed to the increase in rounds and ancillary services. Also, the golf course had Resident Appreciation weekend in October. This is the third year of the program and it is well received by the residents. To obtain the special rate on this day residents must complete a survey which helps provide useful feedback about the course.

The golf course finished their 11<sup>th</sup> consecutive year of Junior Golf Camps. This year there were 120 participants. The golf camps received many positive comments from youth's parents and serves the golf courses continuing effort to attract a new customer base to the course.

#### **Food & Beverage:**

There were 25 wedding held at the golf course in 2015 compared to 27 the previous year. The recent trend has been for smaller weddings with less ancillary services. However, the golf course has 19 weddings already scheduled for 2016 with 10 more pending confirmation which indicates this side of the business is holding steady. When coupled with regular business meetings and prescheduled events, the golf course had \$465k in food and beverage sales which was \$23k less than last year. Room rentals also decreased from \$34k last year to \$23k this year as a result of less meetings and seminars booked this year.

Brunch sales continue to maintain their popularity especially the Easter and Mother's Day brunches. Both of these events had 400 participants which is considered a full event.

#### **Expenditures:**

Operating expenditures were \$1.6m for 2015 which was \$39.6k or 2.4% less than the budget and \$89.2k or 5.2% less than 2014. The \$30k decrease in the operations division was largely the result of a reduction in cost of goods sold (down \$28k). The reduction in the amount of merchandise being carried as a result of the increased golf equipment merchants (Golfsmith, etc.) and the timing of payment of the invoices (paying as late as possible while obtaining the highest discount rate) has resulted in this decrease.

The maintenance division operating cost had a reduction of \$18k over last year. The majority of the reduction (\$15k), was related to the golf course fertilizer which was the direct result of the weather in 2015, more efficient applications, and vendor discounts received on orders purchased in 2015. In addition, fuel costs were lower (\$8k), due to the reduction in fuel costs and more efficient operations. There was also a reduction in garbage and recycling costs due to the late start in the season and negotiating better rates for this service (\$3k).

Operating expenditures for Food and Beverage was under budget by \$26k or 5.1%. This was a decrease of \$41k over last year (7.8%) and was the result of fewer event bookings as noted above (weddings, business meetings and seminars). Also with fewer events and turnover in key positions during the year, personnel costs were \$21.7k under budget (7.6%) and \$26k less than last year.

**Overtime & Comp Time:** We continue to monitor overtime and compensatory time accrued. Although in some cases this is not controllable (snow events, employee injuries, city sponsored events) other times, overtime can be somewhat maintained through proper planning. The attached Overtime and Comp Time Analysis (Exhibit 3) shows that overtime citywide has increased \$102.9k (or approximately 25.2%) over last year. Comp time accrued was 4,328 hours, a 14% increase over last year. Although comp time accruals have increased the estimated future liability to \$121k it is still \$19k less than 2014. The significant increase in overtime is related to the Police fund which is described in the fund summaries.

**Investments:** (Exhibit 4)

As noted in the Month End Investment Balances the total funds available has decreased as property tax revenue received in August is being utilized for operations and capital projects. Interest revenue for 2015 Citywide was \$55.8k. This represents an increase of \$14.9k or 36.3% more than budgeted in 2015. It should be noted the City places all funds in interest bearing options when they are received. The City tries to maintain a range of investments in a longer term portfolio to preserve capital and obtain a reasonable rate of return until these funds are needed. To provide a further breakdown of the investment strategy, a "Portfolio" report was generated to summarize the different facets of the investment portfolio. Overall, the City's return on investments is .52% which is lower than the 12 month treasuries benchmark which was .64% as of December 31st. This was the result of a significant increase in the rate of return for 12 month treasuries which increased from .24% at the end of October to .64% at the end of December an 167% increase. Historically, the City returns exceeded the 12 month treasuries benchmark.

**Summary:** In summary, all major City funds operated within the 2015 budget. After reading this recap, should you have any questions, please feel free to call me.

Enc: Summary of Revenue and Expenditures 4th Quarter 2015 (Exhibit 1)  
Property/Personal Property Tax & Local Government Fund Analysis (Exhibit 2)  
Overtime/Comp Time Analysis – 4<sup>th</sup> Quarter FY 2015 Compared to 2014 (Exhibit 3)  
Investment Summary – 4<sup>th</sup> Quarter FY 2015 (Exhibit 4)

Cc: Department Directors

City of Beavercreek  
 Summary of Revenue and Expenditures  
 For Month Ending December 31, 2015 - (Unaudited)

GENERAL FUND (101)						
REVENUE	AMENDED 2015 BUDGET*	4TH QUARTER 2015 YTD ACTUAL	4TH QUARTER 2014 YTD ACTUAL	2015-2014 COMPARISON	% FY 2015 REV/EXP	
PROPERTY TAXES	\$ 1,277,200	\$ 1,308,361	\$ 1,325,246	\$ (16,885)	102%	
FEES, LICENSE & PERMITS	\$ 738,000	\$ 758,858	\$ 694,468	\$ 64,390	103%	
INTERGOVERNMENTAL REVENUES	\$ 951,129	\$ 1,044,076	\$ 1,099,672	\$ (55,596)	110%	
SPECIAL ASSESSMENTS	\$ 145,000	\$ 140,607	\$ 145,238	\$ (4,631)	97%	
CHARGES FOR SERVICES	\$ 70,500	\$ 87,944	\$ 80,546	\$ 7,398	125%	
INTEREST	\$ 40,000	\$ 54,507	\$ 44,435	\$ 10,072	136%	
OTHER REVENUES/TRANSFERS	\$ 727,916	\$ 725,419	\$ 670,684	\$ 54,735	100%	
<b>TOTAL REVENUE</b>	<b>\$ 3,949,745</b>	<b>\$ 4,119,772</b>	<b>\$ 4,060,289</b>	<b>\$ 59,483</b>	<b>104%</b>	
				1.5%		
% Increase/(Decrease) over 2014						
<b>EXPENDITURES</b>						
COUNCIL	\$ 108,470	\$ 112,239	\$ 99,401	\$ 12,838	103%	
CLERK	\$ 85,450	\$ 86,250	\$ 81,909	\$ 4,341	101%	
CITY MANGER	\$ 345,044	\$ 293,880	\$ 354,219	\$ (60,339)	85%	
HR/RISK MGMT	\$ 89,588	\$ 89,384	\$ 87,412	\$ 1,972	100%	
FINANCE	\$ 378,552	\$ 378,121	\$ 374,423	\$ 3,698	100%	
INFORMATION TECHNOLOGY	\$ 182,210	\$ 159,756	\$ 169,947	\$ (10,191)	88%	
CONTRACTUAL SERVICES	\$ 389,064	\$ 335,806	\$ 348,516	\$ (12,710)	86%	
BLDG FACILITIES MAINTENANCE	\$ 182,949	\$ 141,159	\$ 110,539	\$ 30,620	77%	
CEMETERY MAINTENANCE	\$ 218,609	\$ 209,891	\$ 146,300	\$ 63,591	96%	
PLANNING & ZONING BOARDS	\$ 6,465	\$ 5,973	\$ 5,343	\$ 630	92%	
PLANNING & ZONING ADMIN	\$ 585,663	\$ 575,949	\$ 571,137	\$ 4,812	98%	
DISTRICT LIGHTING	\$ 76,000	\$ 78,233	\$ 89,778	\$ (11,545)	103%	
TRANSFERS OUT	\$ 1,469,206	\$ 1,457,206	\$ 1,170,641	\$ 286,565	99%	
<b>TOTAL EXPENDITURES</b>	<b>\$ 4,117,270</b>	<b>\$ 3,923,847</b>	<b>\$ 3,609,565</b>	<b>\$ 314,282</b>	<b>95%</b>	
				8.7%		
% Increase/(Decrease) over 2014						

\*Includes carry over encumbrances from 2014

City of Beavercreek  
 Summary of Revenue and Expenditures  
 For Month Ending December 31, 2015 - (Unaudited)

**POLICE DEPARTMENT (202)**

REVENUE	AMENDED 2015 BUDGET*	4TH QUARTER 2015 YTD ACTUAL	4TH QUARTER 2014 YTD ACTUAL	2015-2014 COMPARISON	% FY 2015 REV/EXP
TAXES	\$ 7,649,800	\$ 8,044,700	\$ 7,109,251	\$ 935,449	105%
FEES, LICENSES, & PERMITS	\$ 67,100	\$ 77,790	\$ 69,884	\$ 7,906	116%
INTERGOVERNMENTAL REVENUES	\$ 1,116,687	\$ 1,007,919	\$ 991,341	\$ 16,578	90%
CHARGES FOR SERVICES	\$ 280,409	\$ 285,383	\$ 247,834	\$ 37,549	102%
OTHER REVENUE	\$ 156,410	\$ 169,646	\$ 239,048	\$ (69,402)	108%
<b>TOTAL REVENUE</b>	<b>\$ 9,270,406</b>	<b>\$ 9,585,438</b>	<b>\$ 8,657,358</b>	<b>\$ 928,080</b>	<b>103%</b>
				10.7%	
% Increase/(Decrease) over 2014					
<b>EXPENDITURES</b>					
BLDG FACILITIES MAINT	\$ 167,400	\$ 93,412	\$ 102,032	\$ (8,620)	56%
POLICE ADMIN	\$ 335,897	\$ 210,817	\$ 203,325	\$ 7,492	63%
SUPPORT SERVICES	\$ 468,582	\$ 478,455	\$ 485,620	\$ (7,165)	102%
COMMUNITY RELATIONS	\$ 116,076	\$ 114,276	\$ 113,590	\$ 686	98%
COMMUNICATIONS	\$ 1,030,950	\$ 947,689	\$ 987,967	\$ (40,278)	92%
EMERGENCY DISPATCH -911 Funds	\$ 204,169	\$ 166,218	\$ 45,415	\$ 120,803	81%
CORRECTIONS	\$ 228,000	\$ 222,334	\$ 230,253	\$ (7,919)	98%
ALLOCABLE SUPPORT	\$ 1,456,927	\$ 1,228,500	\$ 1,075,046	\$ 153,454	84%
INVESTIGATIONS	\$ 717,455	\$ 675,014	\$ 690,156	\$ (15,142)	94%
POLICE OPERATIONS	\$ 4,845,347	\$ 4,494,881	\$ 4,520,419	\$ (25,538)	93%
OFF DUTY TRUST ACCOUNT	\$ 107,974	\$ 112,466	\$ 45,786	\$ 66,680	104%
COPP PROGRAM	\$ 3,000	\$ 997	\$ 1,326	\$ (329)	33%
TRANSFER TO DEBT SERVICE	\$ 67,387	\$ 68,654	\$ 68,654	\$ -	102%
<b>TOTAL EXPENDITURES</b>	<b>\$ 9,749,164</b>	<b>\$ 8,813,713</b>	<b>\$ 8,569,589</b>	<b>\$ 244,124</b>	<b>90%</b>
				2.8%	
% Increase/(Decrease) over 2014					

\*Includes carry over encumbrances from 2014

City of Beavercreek  
 Summary of Revenue and Expenditures  
 For Month Ending December 31, 2015 - (Unaudited)

**STREET LEVY (203)**

REVENUE	AMENDED 2015 BUDGET*	4TH QUARTER 2015 YTD ACTUAL	4TH QUARTER 2014 YTD ACTUAL	2015-2014 COMPARISON	% FY 2015 REV/EXP
TAXES	\$ 4,074,520	\$ 4,338,486	\$ 4,319,182	\$ 19,304	106%
FEES, LICENSE & PERMITS	\$ 18,750	\$ 17,204	\$ 18,352	\$ (1,148)	92%
INTERGOVERNMENTAL REVENUES	\$ 1,319,650	\$ 1,323,742	\$ 1,315,364	\$ 8,378	100%
OTHER REVENUES	\$ 18,435	\$ 123,368	\$ 57,432	\$ 65,936	669%
<b>TOTAL REVENUE</b>	<b>\$ 5,431,355</b>	<b>\$ 5,802,800</b>	<b>\$ 5,710,330</b>	<b>\$ 92,470</b>	<b>107%</b>
				1.6%	
% Increase/(Decrease) over 2014					
<b>EXPENDITURES</b>					
ENGINEERING	\$ 167,173	\$ 161,264	\$ 162,679	\$ (1,415)	96%
BLDG FACILITIES MAINT	\$ 240,168	\$ 227,823	\$ 227,710	\$ 113	95%
STREET INSPECTION	\$ 473,828	\$ 467,383	\$ 486,221	\$ (18,838)	99%
ADMINISTRATION	\$ 569,531	\$ 494,090	\$ 480,300	\$ 13,790	87%
STREET MAINTENANCE	\$ 1,323,531	\$ 1,316,129	\$ 1,344,439	\$ (28,310)	99%
SNOW & ICE CONTROL	\$ 488,803	\$ 240,749	\$ 1,210,926	\$ (970,177)	49%
WEED & GRASS CONTROL	\$ 316,884	\$ 286,160	\$ 333,720	\$ (47,560)	90%
VEHICLE & EQUIP MAINT.	\$ 254,980	\$ 257,899	\$ 255,994	\$ 1,905	101%
TRAFFIC SAFETY	\$ 749,508	\$ 582,829	\$ 533,635	\$ 49,194	78%
STORM WATER MAINT.	\$ 288,611	\$ 265,545	\$ 309,816	\$ (44,271)	92%
Total Operating Expenditures	\$ 4,873,017	\$ 4,299,871	\$ 5,345,440	\$ (1,045,569)	88%
				(19.6%)	
% Increase/(Decrease) over 2014					
CURRENT YEAR CAPITAL	\$ 1,036,633	\$ 811,796	\$ 1,830,625	\$ (1,018,829)	78%
TRANSFERS OUT	\$ 10,012	\$ 10,200	\$ 10,200	\$ -	102%
<b>TOTAL EXPENDITURES</b>	<b>\$ 5,919,662</b>	<b>\$ 5,121,867</b>	<b>\$ 7,186,265</b>	<b>\$ (2,064,398)</b>	<b>87%</b>
				(28.7%)	
% Increase/(Decrease) over 2014					

\*Includes carry over encumbrances from 2014

City of Beavercreek  
 Summary of Revenue and Expenditures  
 For Month Ending December 31, 2015 - (Unaudited)

<b>STREET MAINTENANCE FUND (204)</b>						
REVENUE	AMENDED 2015 BUDGET*	4TH QUARTER 2015 YTD ACTUAL	4TH QUARTER 2014 YTD ACTUAL	2015-2014 COMPARISON	% FY 2015 REV/EXP	
COUNTY VEHICLE PERMISSIVE TAX	\$ 240,000	\$ 256,028	\$ 294,616	\$ (38,588)	107%	
GASOLINE/LICENSE TAXES	\$ 2,184,815	\$ 2,159,263	\$ 2,182,367	\$ (23,104)	99%	
TOWNSHIP FUEL	\$ 26,150	\$ 9,846	\$ -	\$ 9,846	38%	
INTEREST	\$ 200	\$ 525	\$ -	\$ 525	263%	
OTHER REVENUES	\$ 3,000	\$ 815	\$ 36,664	\$ (35,849)	27%	
<b>TOTAL REVENUE</b>	<b>\$ 2,454,165</b>	<b>\$ 2,426,477</b>	<b>\$ 2,513,647</b>	<b>\$ (3,5%)</b>	<b>99%</b>	
% Increase/(Decrease) over 2014						
<b>EXPENDITURES</b>						
STREET MAINTENANCE	\$ 345,953	\$ 286,759	\$ 440,184	\$ (153,425)	83%	
ANNUAL PAVING	\$ 1,036,308	\$ 1,025,935	\$ 930,807	\$ 95,128	99%	
SNOW & ICE CONTROL	\$ 230,810	\$ 206,241	\$ 377,089	\$ (170,848)	89%	
PRIOR YEAR CAPITAL	\$ 1,028,647	\$ 769,585	\$ 1,025,451	\$ (255,866)	75%	
<b>TOTAL EXPENDITURES</b>	<b>\$ 2,641,718</b>	<b>\$ 2,288,520</b>	<b>\$ 2,773,531</b>	<b>\$ (17.5%)</b>	<b>87%</b>	
% Increase/(Decrease) over 2014						

<b>STATE HIGHWAY FUND (205)</b>						
REVENUE	AMENDED 2015 BUDGET*	4TH QUARTER 2015 YTD ACTUAL	4TH QUARTER 2014 YTD ACTUAL	2015-2014 COMPARISON	% FY 2015 REV/EXP	
GASOLINE/LICENSE TAXES	\$ 380,436	\$ 238,487	\$ 189,869	\$ 48,618	63%	
INTEREST	\$ 500	\$ 447	\$ 390	\$ 57	89%	
REFUNDS AND REIMBURSEMENTS	\$ -	\$ 159	\$ 1,039	\$ (880)	100%	
<b>TOTAL REVENUE</b>	<b>\$ 380,936</b>	<b>\$ 239,093</b>	<b>\$ 191,298</b>	<b>\$ 47,795</b>	<b>63%</b>	
% Increase/(Decrease) over 2014						
<b>EXPENDITURES</b>				<b>25.0%</b>		
STATE HIGHWAY ADMINISTRATION	\$ 179,284	\$ 113,957	\$ 175,888	\$ (61,931)	64%	
CAPITAL IMPROVEMENTS	\$ 316,648	\$ 141,858	\$ 40,941	\$ 100,917	45%	
<b>TOTAL EXPENDITURES</b>	<b>\$ 495,932</b>	<b>\$ 255,815</b>	<b>\$ 216,829</b>	<b>\$ 38,986</b>	<b>52%</b>	
% Increase/(Decrease) over 2014						
				<b>18.0%</b>		

\*Includes carry over encumbrances from 2014

City of Beavercreek  
 Summary of Revenue and Expenditures  
 For Month Ending December 31, 2015 - (Unaudited)

<b>STREET CAPITAL FUND (260)</b>						
REVENUE	AMENDED 2015 BUDGET*	4TH QUARTER 2015 YTD ACTUAL	4TH QUARTER 2014 YTD ACTUAL	2015-2014 COMPARISON	% FY 2015 REV/EXP	
PROPERTY TAX	\$ 2,550,000	\$ 2,454,288	\$ -	\$ 2,454,288	96%	
INTERGOVERNMENTAL - GRANTS	\$ 3,752,500	\$ 1,986,737	\$ -	\$ 1,986,737	53%	
<b>TOTAL REVENUE</b>	<b>\$ 6,302,500</b>	<b>\$ 4,441,025</b>	<b>\$ -</b>	<b>\$ 4,441,025</b>	<b>70%</b>	
% Increase/(Decrease) over 2014						
<b>EXPENDITURES</b>				<b>100.0%</b>		
ANNUAL PAVING	\$ 1,319,280	\$ 979,516	\$ -	\$ 979,516	74%	
CAPITAL IMPROVEMENTS	\$ 4,981,000	\$ 2,273,109	\$ -	\$ 2,273,109	46%	
<b>TOTAL EXPENDITURES</b>	<b>\$ 6,300,280</b>	<b>\$ 3,252,625</b>	<b>\$ -</b>	<b>\$ 3,252,625</b>	<b>52%</b>	
% Increase/(Decrease) over 2014						

<b>STREET CAPITAL IMPROVEMENT FUND (408)</b>						
REVENUE	AMENDED 2015 BUDGET*	4TH QUARTER 2015 YTD ACTUAL	4TH QUARTER 2014 YTD ACTUAL	2015-2014 COMPARISON	% FY 2015 REV/EXP	
COUNTY AND MUNICIPAL LICENSE TAX	\$ 346,000	\$ 362,509	\$ 351,586	\$ 10,923	105%	
GRANTS	\$ 2,372,296	\$ 2,367,538	\$ 1,113,195	\$ 1,254,343	100%	
<b>TOTAL REVENUE</b>	<b>\$ 2,718,296</b>	<b>\$ 2,730,047</b>	<b>\$ 1,464,781</b>	<b>\$ 1,265,266</b>	<b>100%</b>	
% Increase/(Decrease) over 2014						
<b>EXPENDITURES</b>				<b>86.4%</b>		
AUDITORS FEE	\$ 3,285	\$ 2,540	\$ 3,285	\$ (745)	77%	
CAPITAL OUTLAY	\$ 3,366,018	\$ 2,437,872	\$ 1,823,203	\$ 614,669	72%	
PENTAGON PARK REIMBURSEMENT	\$ 30,000	\$ 30,000	\$ 30,000	\$ -	100%	
TRANSFERS OUT	\$ 31,036	\$ 32,108	\$ 32,108	\$ -	103%	
<b>TOTAL EXPENDITURES</b>	<b>\$ 3,430,339</b>	<b>\$ 2,502,520</b>	<b>\$ 1,888,596</b>	<b>\$ 613,924</b>	<b>73%</b>	

City of Beavercreek  
 Summary of Revenue and Expenditures  
 For Month Ending December 31, 2015 - (Unaudited)

**RECREATION LEVY FUND (279)**

REVENUE	AMENDED 2015 BUDGET*	4TH QUARTER 2015 YTD ACTUAL	4TH QUARTER 2014 YTD ACTUAL	2015-2014 COMPARISON	% FY 2015 REV/EXP
PROPERTY TAX	\$ 1,177,000	\$ 1,144,870	\$ -	\$ 1,144,870	97%
INTERGOVERNMENTAL - GRANTS	\$ 212,236	\$ 258,920	\$ 178,235	\$ 80,685	122%
CHARGES FOR SERVICES	\$ 285,100	\$ 296,031	\$ 306,525	\$ (10,494)	104%
DONATIONS & OTHER REVENUE	\$ 141,099	\$ 144,341	\$ 117,003	\$ 27,338	102%
TRANSFERS IN FROM GF	\$ 240,000	\$ 240,000	\$ -	\$ -	100%
<b>TOTAL REVENUE</b>	<b>\$ 2,055,435</b>	<b>\$ 2,084,162</b>	<b>\$ 601,763</b>	<b>\$ 1,242,399</b>	<b>101%</b>
% Increase/(Decrease) over 2014 206.5%					
<b>EXPENDITURES</b>					
PARKS MAINTENANCE	\$ 923,421	\$ 750,514	\$ 644,703	\$ 105,811	81%
ROTARY PARK	\$ 354,747	\$ 297,684	\$ 345,578	\$ (47,894)	84%
RECREATIONAL PROGRAMS	\$ 133,952	\$ 122,558	\$ 87,351	\$ 35,207	91%
SENIOR LEVY SERVICES	\$ 442,098	\$ 432,378	\$ 195,853	\$ 236,525	98%
CAPITAL	\$ 268,000	\$ 105,915	\$ -	\$ 105,915	40%
<b>TOTAL EXPENDITURES</b>	<b>\$ 2,122,218</b>	<b>\$ 1,709,049</b>	<b>\$ 1,273,485</b>	<b>\$ 435,564</b>	<b>81%</b>
% Increase/(Decrease) over 2014 34.2%					

\*Includes carry over encumbrances from 2014

City of Beavercreek  
 Summary of Revenue and Expenditures  
 For Month Ending December 31, 2015 - (Unaudited)

**GOLF COURSE FUND (572)**

REVENUE	AMENDED 2015 BUDGET*	4TH QUARTER 2015 YTD ACTUAL	4TH QUARTER 2014 YTD ACTUAL	2015-2014 COMPARISON	% FY 2015 REV/EXP
GOLF & PRO SHOP	\$ 865,275	\$ 899,106	\$ 852,983	\$ 46,123	104%
FOOD & BEVERAGE REVENUE	\$ 582,000	\$ 513,279	\$ 545,489	\$ (32,210)	88%
Total Operating Revenue	\$ 1,447,275	\$ 1,412,385	\$ 1,398,472	\$ 13,913	98%
% Increase/(Decrease) over 2014				1.0%	
INTEREST	\$ 88	\$ -	\$ 64	\$ (64)	0%
MISC. REVENUE	\$ 1,400	\$ 2,273	\$ 31,030	\$ (28,757)	162%
REFUNDS & REIMBURSEMENT	\$ 1,000	\$ 4,430	\$ 33,549	\$ (29,119)	443%
TRANSFERS IN FROM GF & MISC.	\$ 1,179,888	\$ 1,167,888	\$ 1,107,064	\$ 60,824	99%
<b>TOTAL REVENUE</b>	<b>\$ 2,629,651</b>	<b>\$ 2,586,976</b>	<b>\$ 2,570,179</b>	<b>\$ 16,797</b>	<b>98%</b>
% Increase/(Decrease) over 2014				0.7%	
<b>EXPENDITURES</b>					
OPERATIONS	\$ 677,463	\$ 663,577	\$ 693,762	\$ (30,185)	98%
FOOD & BEVERAGE	\$ 513,526	\$ 487,270	\$ 528,372	\$ (41,102)	95%
MAINTENANCE	\$ 487,852	\$ 488,420	\$ 506,287	\$ (17,867)	100%
Total Operating Expenditures	\$ 1,678,841	\$ 1,639,267	\$ 1,728,421	\$ (89,154)	98%
% Increase/(Decrease) over 2014				(5.2%)	
CAPITAL EXPENDITURE	\$ 34,725	\$ 31,807	\$ 48,183	\$ (16,376)	92%
BOND AND INTEREST PAYMENT	\$ 924,486	\$ 923,361	\$ 924,486	\$ (1,125)	100%
<b>TOTAL EXPENDITURES</b>	<b>\$ 2,638,052</b>	<b>\$ 2,594,435</b>	<b>\$ 2,701,090</b>	<b>\$ (106,655)</b>	<b>98%</b>
% Increase/(Decrease) over 2014				(3.9%)	
NET OPERATING GAIN (LOSS)	\$ (231,566)	\$ (226,882)	\$ (329,949)	\$ 103,067	98%

\*Includes carry over encumbrances from 2014

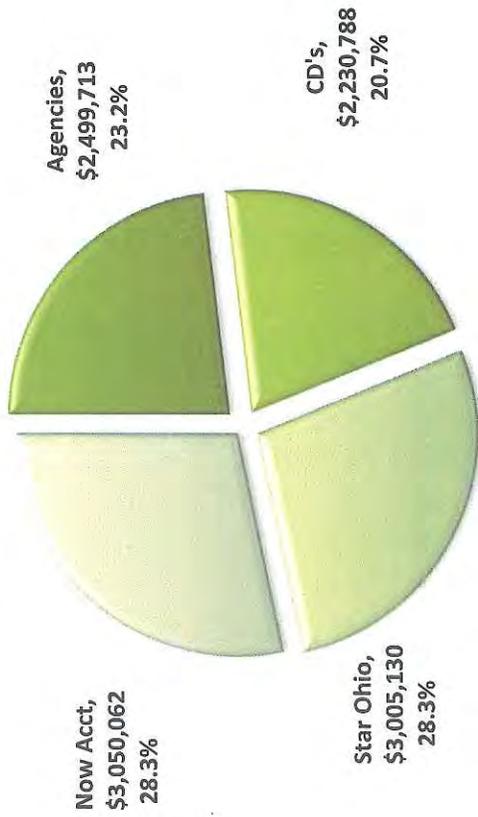
**CITY OF BEAVERCREEK  
PROPERTY/TANGIBLE PERSONAL PROPERTY AND LOCAL GOVERNMENT FUND ANALYSIS**

FUND & REVENUE TYPE	2015		2015		2014		2014		% REC'D	% REC'D	2015 TO 2014 INC/(DECR)	% Rev Inc./(Dec) 15 to 14
	AMENDED BUDGET	4TH QUARTER YTD ACTUAL	4TH QUARTER YTD ACTUAL	AMENDED BUDGET	4TH QUARTER YTD ACTUAL	%	%					
<u>Property Taxes</u>												
<u>General Fund</u>	\$ 1,277,150	\$ 1,308,254	\$ 1,308,254	\$ 1,263,800	\$ 1,325,144	102.4%	104.9%	\$ (16,890)	(1.3%)			
<u>Police Fund</u>												
Property Taxes	\$ 7,302,450	\$ 7,687,587	\$ 7,687,587	\$ 6,429,360	\$ 6,745,772	105.3%	104.9%	\$ 941,815	14.0%			
Property Taxes (Pension)	\$ 347,100	\$ 356,797	\$ 356,797	\$ 342,650	\$ 363,006	102.8%	105.9%	\$ (6,209)	(1.7%)			
Police Total	\$ 7,649,550	\$ 8,044,384	\$ 8,044,384	\$ 6,772,010	\$ 7,108,778	105.2%	105.0%	\$ 935,606	13.2%			
<u>Parks Levy Fund</u>	\$ 1,177,000	\$ 1,144,825	\$ 1,144,825	\$ -	\$ -	97.3%	0.0%	\$ 1,144,825	100.0%			
<u>Street Levy Funds</u>												
Property Taxes	\$ 4,074,420	\$ 4,338,315	\$ 4,338,315	\$ 4,102,900	\$ 4,318,874	106.5%	105.3%	\$ 19,441	0.5%			
Street Capital Improvement	\$ 2,550,000	\$ 2,454,195	\$ 2,454,195	\$ -	\$ -	96.2%	0.0%	\$ 2,454,195	100.0%			
	\$ 6,624,420	\$ 6,792,510	\$ 6,792,510	\$ 4,102,900	\$ 4,318,874	102.5%	105.3%	\$ 2,473,636	57.3%			
<b>Total Property Taxes</b>	<b>\$ 16,728,120</b>	<b>\$ 17,289,973</b>	<b>\$ 17,289,973</b>	<b>\$ 12,138,710</b>	<b>\$ 8,433,922</b>	<b>103.4%</b>	<b>69.5%</b>	<b>\$ 4,537,177</b>	<b>105.0%</b>			
<u>Personal Property Tax</u>												
Police Fund	\$ 3,229	\$ 1,614	\$ 1,614	\$ 3,229	\$ 1,614	50.0%	50.0%	\$ -	0.0%			
Street Levy Fund	\$ 31,213	\$ 15,606	\$ 15,606	\$ 31,213	\$ 15,606	50.0%	50.0%	\$ -	0.0%			
<b>Total TPP Taxes</b>	<b>\$ 34,442</b>	<b>\$ 17,220</b>	<b>\$ 17,220</b>	<b>\$ 34,442</b>	<b>\$ 17,220</b>	<b>100.0%</b>	<b>0.0%</b>	<b>\$ -</b>	<b>100.0%</b>			
<u>Local Government</u>	\$ 370,359	\$ 401,086	\$ 401,086	\$ 370,109	\$ 359,382	108.3%	97.1%	\$ 41,704	11.6%			

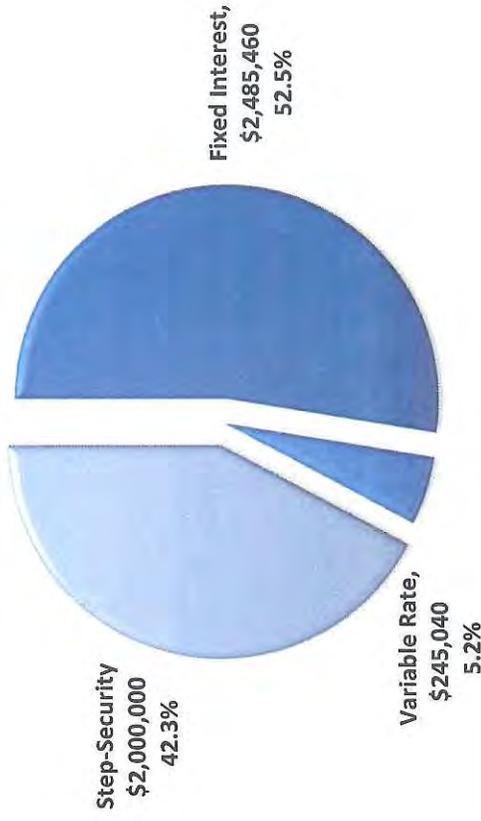


City of Beavercreek Portfolio Report  
December 31, 2015

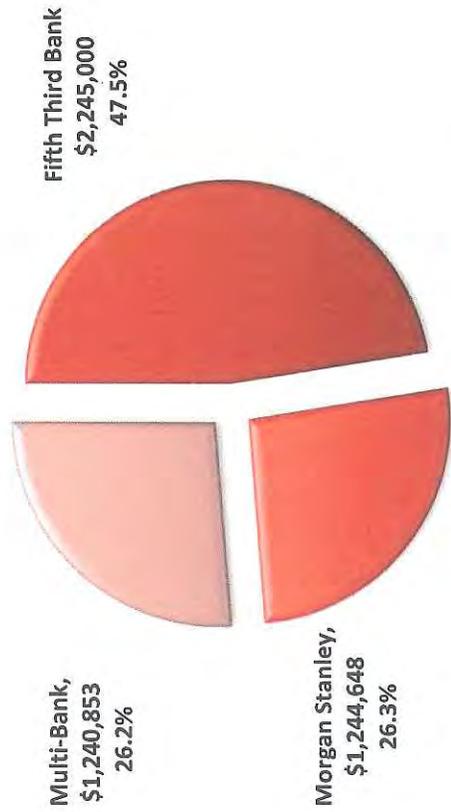
Investment by Type



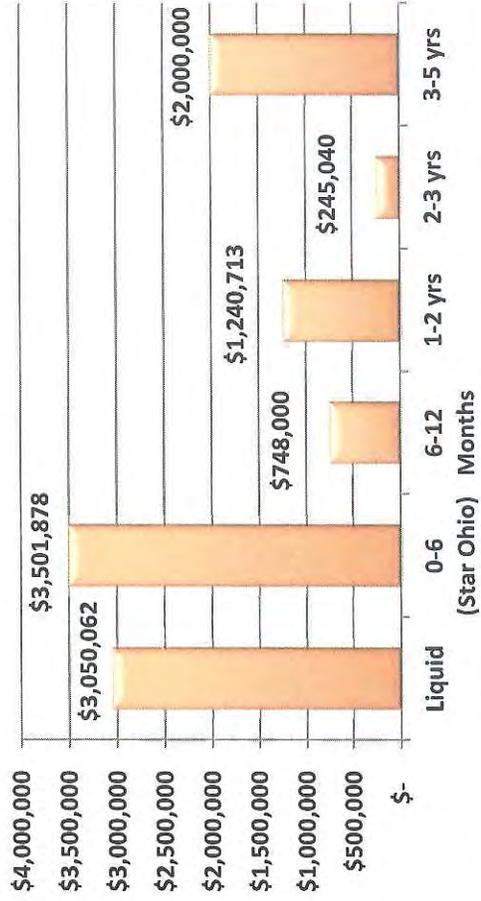
Investment Earnings Type



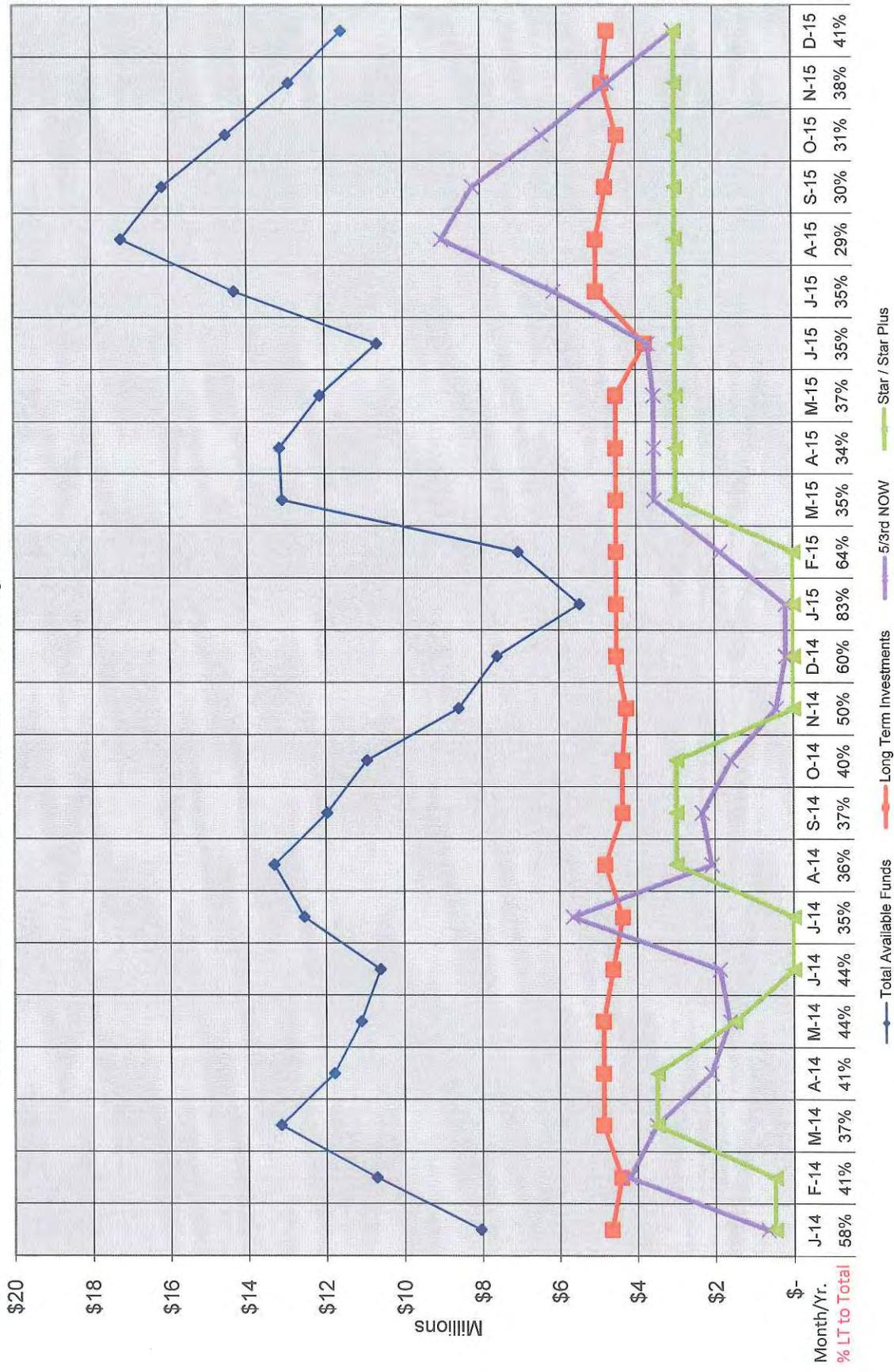
Investment by Broker



Maturity Schedule



Month End Investment Balances - January 2014 thru December 2015



CITY OF BEAVERCREEK INVESTMENT SUMMARY - December 2015

INVESTMENT	Earnings Type	Security Type	BROKER	INTEREST RATE (COUPON)	YIELD TO MATURITY	PURCHASE DATE	MATURITY DATE	AMOUNT	CALL OF MATURITY DATE	YIELD TO CALL	NOTES	ANNUAL INT. AMOUNT	NEXT INTEREST PAYMENT
SAI, CD Synovus Bk Columbus GA 87164DFT2	FR	CD	Morgan Stanley	0.900%	0.900%	11/3/2014	1/21/2016	\$ 247,831.50	NC	N/A	Coupon Semi Annual, 4/21 and 10/21	\$ 2,230.48	1/21/2016
SAI, FC Discover Bk CD 254671PD6	FR	CD	Morgan Stanley	0.750%	0.750%	5/16/2013	5/16/2016	\$ 248,916.10	NC	N/A	SAI - 11/15, 5/15.	\$ 1,866.87	5/16/2016
SAI, CD Capital One Bk CD 140420QG8	FR	CD	Multi-Bank Securities	1.000%	1.000%	10/22/2014	10/24/2016	\$ 248,000.00	NC	N/A	1st coupon 4/22/15, Semi Annual - 4/22 and 10/22	\$ 2,480.00	4/22/2016
SAI, CD Sallie Mae Bk, Salt Lake City CD 795450QY4	FR	CD	Multi-Bank Securities	1.300%	1.302%	10/30/2013	10/31/2016	\$ 250,000.00	NC	N/A	SAI - 4/30 and 10/30	\$ 3,250.00	4/30/2016
CDM, SAI Synchrony Bk Retail Draper Utah CD 3615Y7QTD9	FR	CD	Morgan Stanley	1.050%	1.050%	11/22/2013	11/22/2016	\$ 250,000.00	NC	N/A	SAI - 5/22 and 11/22	\$ 2,625.00	5/22/2016
SAI, ITC, FC Fed Natl Mortgage 3136GZ3M7	FR	Agency	Morgan Stanley	1.300%	1.312%	8/22/2014	2/22/2017	\$ 249,900.00	8/22/2016	1.300%	Coupon Semi Annual, 2/22 and 8/22 - Callable on 8/22/16	\$ 3,250.00	2/22/2016
CD, SAI Goldman Sachs New York, NY 38147JWE8	CD FR	CD	Morgan Stanley	1.050%	1.050%	3/26/2014	3/26/2017	\$ 248,000.00	NC	N/A	SAI - 3/26 and 9/26	\$ 2,604.00	3/26/2016
SAI, FC, CD American Express CD Fed Savings Bk 02587CAR1	FR	CD	Multi-Bank Securities	1.250%	1.250%	8/14/2014	8/14/2017	\$ 248,000.00	NC	N/A	1st coupon 2/14/15 Semi Annual - 2/14 and 8/14	\$ 3,100.00	2/14/2016
SAI/CC/FC Federal Home Loan Bks 313380Z34	FR	Agency	Multi-Bank Securities	0.900%	0.915%	10/23/2012	10/23/2017	\$ 249,812.50	CC-30 days notice begin 1/23/13	0.915%	S/A on 4 & 10/23	\$ 2,250.00	4/23/2016
SAI, FR, CD Ally Bank CD 02006VLP5	Fixed	CD	Fifth Third	1.200%	1.200%	11/12/2015	11/13/2017	\$ 245,000.00	NC	NC	Interest paid semi annually	\$ 2,940.00	5/12/2016
IQ, VR Barclays Bk Del Wilmington CD 06740AZN2	Var	CD	Multi-Bank Securities	VR - 3 Mo. LIBOR = .25%	0.540%	5/30/2013	5/24/2018	\$ 245,040.27	NC	NC	1st coupon 8/24, quarterly after, Feb, May, Aug, Nov.	\$ 1,323.22	2/24/2016
SAI, ST Federal Home Loan Bank Bonds 3130A5F87	Step	Agency	Fifth Third	1.250%	2.263%	6/17/2015	6/17/2020	\$ 250,000.00	6/17/2017	1.250%	Step - current 1.25%, semi-annual interest. Next reset 6/17/17 @1.5%	\$ 3,125.00	6/17/2016
SAI, ST, QC Federal Home Ltn MTG Corp. 3134G7EF4	Step	Agency	Fifth Third	1.250%	2.227%	7/29/2015	7/29/2020	\$ 250,000.00	1/29/2016	1.250%	Step - current 1.25% till 7/29/16 then 1.75% till 7/29/17 then 2.25% till 7/29/18 then 2.75% till	\$ 3,125.00	1/29/2016

CITY OF BEAVERCREEK INVESTMENT SUMMARY - December 2015

INVESTMENT	Earnings Type	Security Type	Broker	Interest Rate (Coupon)	Yield to Maturity	Purchase Date	Maturity Date	Amount	Call of Maturity Date	Yield to Call	Notes	Annual Int. Amount	Next Interest Payment
SAI, ST, QC Federal Home Ln Bank Bond 3134G7UL3	Step	Agency	Fifth Third	1.250%	2.306%	9/30/2015	9/30/2020	\$ 250,000.00	QC	1.250%	Step - 1.25% till 9/30/17, 1.5% till 9/30/18, 2% till 3/30/19, 3% till 9/30/19	\$ 3,125.00	3/30/2016
SAI, ST, QC Federal Home Ln Banks 3130A6NN3	Step	Agency	Fifth Third	1.000%	2.065%	10/29/2015	10/29/2020	\$ 250,000.00	Next Call 4/29/16 then QC thereafter	1.000%	Step - 1.25% till 4/29/17, 1.5% till 4/28/18, 1.75% till 10/29/18, 2% till 4/24/19, 2.5% till 10/29/19	\$ 2,500.00	4/29/2016
SAI, ST, QC Federal Home Ln Banks 3130A6NV5	Step	Agency	Fifth Third	0.500%	2.562%	10/29/2015	10/29/2020	\$ 250,000.00	Next Call 4/29/16 then QC thereafter	0.500%	Step - 5 till 4/26/16, .75 till 10/29/16, 1% till 4/29/17, 1.5% till 10/29/17, 2% till 4/29/18, 2.5% till 10/29/2018, etc.	\$ 1,250.00	4/29/2016
SAI, ST, QC Federal Home Ln Mtg Corp 3134G7K26	Step	Agency	Fifth Third	1.000%	2.261%	10/29/2015	10/29/2020	\$ 250,000.00	Next Call date 1/29/2016 then QC	1.000%	Step - 10-29-17 to 1.25% till 4/29/17, 1.5% till 10/29/17, 1.75% till 4/29/18, 2% till 10/29/18, etc.	\$ 2,500.00	4/29/2016
SAI, ST, QC Federal Home Ln Mtg Corp 3134G7S77	Step	Agency	Fifth Third	1.125%	2.015%	10/29/2015	10/29/2020	\$ 250,000.00	Next Call date 4/29/16 then QC	1.125%	Step - 1.125% till 10/29/17, 1.25% till 10/29/18, 1.5% till 4/29/19, 2% till 10/29/19, 4% till 4/29/20	\$ 2,812.50	4/29/2016
SAI, 1TC Fed Home Loan Bank 3130A6P43	Step	Agency	Fifth Third	1.000%	1.980%	11/19/2015	11/19/2020	\$ 250,000.00	Callable on 2/19/16	1.000%	Next Reset on 11/19/16 at 1.5% interest paid semi annually	\$ 2,500.00	5/19/2016
<p>Long Term Investments as of December 2015</p> <p>Estimated Rate of Return</p>													
								<b>\$ 4,730,500.37</b>					
<p>Operating Investments as of December 31, 2015</p>													
								<b>\$ 6,055,192</b>					
								<b>\$ 10,785,692</b>					
<p>Total Investment as of December 31, 2015</p> <p>Total Portfolio Return</p>													
								<b>0.52%</b>					
<p>Benchmarks Target: Fed Funds Rate</p> <p>Benchmarks 12 Month Treasuries</p> <p>Benchmarks 2 yr Treasuries</p> <p>Tickmarks:</p> <p>SAI=Semi Annual Interest, QIC=Quarterly Interest, AC=Annual Call, SAC=Semi Annual Call, QC=Quarterly Call, CC=Continuous Call, ST=Step Security, 1TC=One Time Call, FC= Fixed Coupon, CD = Certificate of Deposit,                  IQ = Interest Paid Qtrly on CD, FR=Fixed Rate                  (a) = Original security amount was \$250,000. Partial call in the amount of \$150,000 took place on 5/15/13. VR= Variable rate CD 1% year one, after reset quarterly at 3M LIBOR rate currently at .53% (#) rate provide by 5/3rd</p>													

Projected Interest 12/31/15	
\$ 7,211.48	
\$ 0.72	
\$ 7,625.16	
<b>\$ 56,482.95</b>	



**CITY COUNCIL**  
**Regular Meeting –March 14, 2016 6:00 p.m.**  
**Council Chambers**

1368 Research Park Dr  
Beavercreek, Ohio

- I. CALL TO ORDER
- II. ROLL CALL
- III. PLEDGE AND MOMENT OF SILENCE – Council Member Upton
- IV. APPROVAL OF AGENDA
- V. APPROVAL OF MINUTES
- VI. PRE-SCHEDULED PRESENTERS
  - A. CALEA Auditors
  
- VII. ORDINANCES, RESOLUTIONS AND PUDS
  - A. Ordinance 16-01 Z-16-1 TCN Behavioral Rezoning, I-1 to RP-1 (Third Reading)
  - B. Ordinance 16-02 MX-PUD 93-4 Amend 1/16 Ashton Brook Phase 5 (Second Reading)
  
- VIII. CITY MANAGER'S REPORT
- IX. MAYOR'S REPORT
- X. COUNCIL TIME
- XI. CITIZEN COMMENTS
- XII. ADJOURNMENT



**AGENDA  
CITY COUNCIL  
Work Session – March 21, 2016, 5:00 p.m.  
Council Chambers**

1368 Research Park Dr  
Beavercreek, Ohio

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. DISCUSSION ITEMS
  - A. Vacant Abandoned Property Registry
  - B. Chickens?
- V. COUNCIL COMMITTEE/EVENT UPDATES
- VI. ADJOURNMENT

DRAFT

# PLANNING DEPARTMENT STATUS REPORT

## *February 18, 2016*

### CITY COUNCIL

#### February 22, 2016

- PUD 93-4, Amendment 1/16, Ashton Brook Phase 5, public hearing, first reading
- PUD 15-3, SSP #1, AAA-Bob Sumere! Tire, public hearing
- Z-16-1, TCN Behavioral, second reading continued

#### March 14, 2016

- PUD 93-4, Amendment 1/16, Ashton Brook Phase 5, public hearing, second reading
- Z-16-1, TCN Behavioral, third reading

#### March 28, 2016

- PUD 93-4, Amendment 1/16, Ashton Brook Phase 5, third reading

#### Tabled / Delayed / Pending

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## PLANNING COMMISSION

March 2, 2016

- PUD 541, Major MOD Flying Ace Express/Starbucks, public hearing
- Z-16-2, 4230 Dayton-Xenia, public hearing (tabled 2/3/16)

Currently Tabled / Delayed

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Commercial Permits Submitted and Under Review

- Advance Auto
- Sam's Fuel Station

**BOARD OF ZONING APPEALS**

March 9, 2016

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Currently Tabled or Delayed

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