

BEAVERCREEK PLANNING COMMISSION
REGULAR MEETING, March 2, 2016, 7:00 p.m.

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. APPROVAL OF MINUTES
 - A. February 3, 2016
- V. DECISION ITEMS
 - A. Z-16-2, Corle Rezoning, R-1A to RO-1 (tabled at the February 3, 2016 meeting)
- VI. PUBLIC HEARINGS
 - A. PUD 541, Major MOD Flying Ace Express/Starbucks
- VII. SUBDIVISIONS
 - A. S-16-3, The Village at Stone Falls II
- VIII. ADJOURNMENT

BEAVERCREEK PLANNING COMMISSION
REGULAR MEETING, February 3, 2016

PRESENT: Mr. Archibald, Mr. Curran, Mr. Erbes

ABSENT: Mr. Self

Vice Chairman Archibald called the meeting to order followed by roll call.

Mr. Erbes MOVED to excuse Mr. Self, seconded by Mr. Curran. Motion PASSED by majority voice vote.

Mr. Curran MOVED to approve the agenda, seconded by Mr. Erbes. Motion PASSED by majority voice vote.

Mr. Curran MOVED to approve the January 6, 2016 minutes, seconded by Mr. Erbes. Motion PASSED by majority voice vote.

PUBLIC HEARINGS

Z-16-2, Corle Rezoning, R-1A to RO-1

Clerk Lampton read the notice of public hearing on an application filed by Clyde and Patricia Corle, 3439 Riva Court, 3439 Riva Court, Beavercreek, OH 45430. The application requests the rezoning of 0.47 acres of land from R-1A One-Family Residential District to RO-1 Residential Office District. The property is located at 4230 Dayton-Xenia Road further described as Book 2, Page 4, Parcel 36 on the Greene County Property Tax Atlas.

Tiffany Lobertini was representing her parents who own the property at 4230 Dayton-Xenia Road along with their family owned business Home Experts Realty. She wanted to put the concerns of the community at ease explaining their brokerage was not the typical real estate brokerage that has a big office with several agents with clients coming and going into the office creating traffic. She said they seldom have agents or clients come to their office. She explained they have mobile agents meaning they rarely come into an office because they have their own home offices that they work out of. The agents are provided with technology to write contracts, listing agreements electronically and share them with clients, other agents and their main office located in Centerville. She said the agents usually meet the sellers at their homes when listing a property and meet buyers at the properties they are viewing. She said the yard signs only display the agent's phone number so calls go directly to the agent and not the office. She said closings occur at their title company located on Kemp Road. The office hours for this location would be mostly week days during normal business hours with rare use of the building on nights and weekends. She said they have eleven locations throughout Ohio with all of their processing completed at their Centerville location. She said this will continue if the rezoning is approved. She said there will be very little traffic at this location because there will only be three employees. With only three employees the traffic and noise at their office will not be much different than the traffic to a house with two or three cars and occasional visitors. She explained all of the employees at this location will be family. She said as

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parents themselves and members of the community they understand the importance of school bus stops and watching out for the safety of small children. Since purchasing the property, Ms. Lobertini explained they have invested \$30,000 to improve the interior and exterior of the building from its previous condition. On the interior, work has included flooring, painting, servicing the HVAC and several other cosmetic improvements. On the exterior work, which is still being conducted including down spouting, removing back patio fence, cleaning the yard which will continue along with the replacement of the existing retaining wall, painting the garage door and repaving the driveway. She said they feel their request is in compliance with the city plan as well as all the city and county codes. Her parents have been residents of Beavercreek since 2004; they love the city and are looking forward to bringing their company to and investing in their community.

Ms. Pereira summarized the staff report dated January 20, 2016, which states the applicant is requesting to rezone the property at 4230 Dayton-Xenia Road from R-1A One-Family Residential to RO-1, Residential Office in order to operate a real estate agency from the property. She discussed the location of the property and the existing structures currently on the property. She explained the property is approximately 19,000 square feet which is a non-conforming lot under the R-1 zoning district which requires a minimum lot size requirement of 20,000 square feet. Ms. Pereira explained the house was non-conforming because it does not meet the minimum setback requirement of 40 feet and the accessory structure exceeds the allowed square footage of 900 square feet in an R-1A district. She explained when the city acquired right-of-way to widen Dayton-Xenia Road it put the lot size and the setback out of compliance. She explained the RO-1 district requires a minimum lot size of 16,000 square feet but the setback and accessory building size remains the same. Ms. Pereira reviewed the zoning surrounding the property explaining there is commercial and residential intermingled. She discussed the Land Use Plan and the goals of the Dayton-Xenia Corridor Task Force which this reinvestment follows both plans. She explained the RO-1 is one of the strictest designations and could also be used as a residential property. Staff recommended approval of the rezoning.

Donna Sayles, 4221 Maplevue Drive, Beavercreek, Ohio

Ms. Sayles stated she had sent a letter of each of the members of the Planning Commission along with a petition signed by neighbors who were against the rezoning. She said one of the sentences in the analysis stated "this block in particular has had several challenges in the past concerning property maintenance, including this property." She agreed with the statement. She explained four of the six properties on the block have been purchased by young couples and are raising their families there. She asked the commission to note these are homes and they don't want an office in their neighborhood.

Michael Jones, 4254 Dayton-Xenia Road, Beavercreek, Ohio

Mr. Jones said what jumped out at him was the Dayton-Xenia Road Corridor Task Force singling out this area as needing re-investment. He said you can see the viable re-investment that is happening. He explained a number of families have purchased

properties in this area, the property to west of this property was completely remodeled less than a year ago and he purchased his home two years ago and is updating it. From their perspective transitioning this to a RO-1 zoning would decrease the likelihood of investment in properties in this area because people would not want to live directly next to an office. He said this is not a family friendly environment from their perspective. He believed the zoning request should not be approved. He said there is business surplus space on Dayton-Xenia Road that is being underutilized.

Dana Kilner, 4222 Dayton-Xenia Road, Beavercreek, Ohio

Mr. Kilner resides directly to the east of the property in question. He did not desire the property to be rezoned. He explained late summer/early fall the current owners were trying to locate the owner and had arranged the contact. Mr. Kilner said based on that conversation, it was understood this would be used as residential only. He said there has been a lot of reinvestment in the properties. He had spent a large amount updating his home. He said any increase in traffic is an additional danger for his children. He is grateful they are cleaning it up but he is against the rezoning.

Clerk Lampton stated, for the record there was a letter received from Mr. and Mrs. Sayles stating they were against the rezoning along with a petition with 23 signatures against the rezoning.

There being no further public input, the public hearing was closed.

Mr. Curran questioned if the owner had a plan for the improvements to the property. Ms. Pereira said there were no concept plans because this is a rezoning of the property and not a specific site plan. She explained they would make sure they meet all the requirements not only of the RO-1 but also of the maintenance code. She said they have already done quite a bit of work to the exterior of the house and would be allowed a small 30 square foot sign as well. Mr. Curran asked if the structure in the rear would remain. Mr. Pereira stated the applicant would like to use it to hold records and would be painting all of the doors. Mr. Curran asked if we had the ability to require them to fix all of that. Mr. Pereira said with the property maintenance code they have the ability to make sure everything is improved before the city issues the occupancy, certificate of use compliance. Mr. Curran asked if this was characterized as a spot rezoning. Ms. Pereira said no because it's residential office and explained if it was office or any of the more intense uses then perhaps. Mr. Curran asked if there was a resident to live there. Ms. Pereira said the applicant had no plans to live there but if they decided they didn't want the office there, someone could live there even with the rezoning to RO-1. Mr. McHugh agreed this is not spot rezoning because of the way it is proposed for rezoning. He said if it was office or commercial that would be a different scenario.

Mr. Erbes questioned if the garage could be used for anything other than storage. Ms. Pereira replied no, there was no allowance to use accessory structures to run a business

out of. She said it could only be used for storage. Mr. Erbes questioned how the retaining wall would be reconstructed. Ms. Lobertini explained they have hired a contractor who will be completely removing the entire wall, regrading, removing the brush and fence on the wall and back filling with dirt and gravel at a cost of \$14,000. Mr. Erbes asked if they would be doing any additional work in addition to what was already mentioned. Ms. Lobertini said they were still cleaning up the outside along with the painting plus trimming the overgrowth. She said they want it to look its best. Mr. Erbes asked the anticipated business hours. Ms. Lobertini replied eight to five weekdays; rarely will they have anyone working on the weekend.

Mr. Archibald confirmed RO-1 is the strictest zoning outside of R-1A. Ms. Pereira said it is the most stringent. She explained any changes to the outside of the building would have to come before the Planning Commission first to be approved. She also said this zoning has a set group of uses which can only provide services and not the sale of goods. Mr. Archibald questioned the applicant regarding the business sign. Ms. Lobertini explained it would be a yard sign meeting the zoning requirements.

Mr. Erbes MOVED to approve Z-16-2. Motion DIED for lack of a second.

Mr. Curran MOVED to table Z-16-2, seconded by Mr. Erbes.

Mr. McHugh explained if there is new information it would be at the Chair's discretion to re-open public input at the next meeting.

Motion PASSED by a roll call vote of 3-0.

PUD 93-4 Amendment 1/16, Ashton Brooke Phase 5

Clerk Lampton read the notice of public hearing on an application filed by Randall Woodings, 400 South Fifth Street, Suite 400, Columbus, OH 43215. The application requests the approval of an amendment to MX-PUD 93-4 to allow for two 2-story apartment buildings totaling 32 units to be constructed on 3.332 acres. The property is located on the northwest corner of Ashton Brook Drive and Lillian Lane further described as Book 4, Page 2, Parcel 24 on the Greene County Property Tax Atlas.

Randall Woodings, Architect, Kontogiannis and Associates, 400 South Fifth St, Ste. 400, Columbus, Ohio 43215

Mr. Woodings explained since 1998 they have built four phases. He explained in 2008 the property was approved for a 114 unit hotel with 120 parking spaces. He explained they would like to build 32 units of apartments with 70 parking spaces.

Mr. Burkett summarized the staff report dated January 19, 2016 which stated the Commission is considering an amendment to the current zoning by increasing the maximum permitted number of multi-family dwelling units allowed in the PUD from 380 to

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412 with the additional 32 units constructed on 3.33 acres of vacant land abutting I-675. Mr. Burkett reviewed the Land Use Plan which is designated as regional commercial/office but is surrounded by high-density residential on the south and east. He explained this was a transitional area and there is a caveat in the Land Use Plan that states Planning Commission may deem an application compliant with the Land Use Plan if they feel it is within the scope of the Land Use Plan. He said staff believes this is within the spirit of the plan as this is in the back of all the retail. He explained the only change to the amendment is to increase the number of units which would remain under the maximum density of 9.5 units per acre. He said compared to the 114 unit hotel, traffic would be about one-fifth of what the hotel would have generated. Staff recommended approval of the case with four conditions in the Resolution.

There being no public input, the public hearing was closed.

Mr. Erbes questioned the current mix between apartments and duplexes. Mr. Woodings said it was 20% one bedroom and the rest two bedroom with some three bedroom townhouses with attached garages. Mr. Erbes asked if there was a market they would be focusing on. Mr. Woodings replied single people, age 55 and over along with some medical students. He explained that is what is there currently.

Mr. Archibald questioned how this would impact Lillian Lane. Mr. Woodings explained Lillian Lane would only be impacted across from the Phase 4 entrance.

Mr. Curran MOVED to approve PUD 93-4 Amendment 1/16 with four conditions:

1. All conditions of PUD 93-4 remain in full force and effect except where modified herein.
2. Condition #2 of Ordinance 09-34, Condition #3 of Ordinance 08-26, Condition #3 of Ordinance 02-3 and Condition B of Ordinance 93-66 are all hereby amended and the total square footage of buildings and structures allowed to be constructed in the MX-PUD development shall not exceed the following: 1. Retail/Commercial/Restaurant/Financial, 420,000 square feet; 2. Hotel/Hospitality/Office Development, 67,500 square feet; 3. Multi-family residential, 412 dwelling units.
3. All new residential dwelling units at a maximum density of 9.5 dwelling units per acres, not to exceed 32 units, must be located on the north side of Lillian Ln. within the 3.33 acre parcel, as shown on the Concept Plan, stamped "Received January 7, 2016".

4. All buildings and accessory structures shall be set back a minimum of 30' from Lillian Ln.

Motion was seconded by Mr. Erbes. Motion PASSED by roll call vote of 3-0.

PUD 15-3 SSP #1, AAA-Bob Sumerel Tire

Clerk Lampton read the notice of public hearing on an application filed by Peter Joseph, 15 West Central Parkway, Cincinnati, OH 45202. The application requests specific site plan approval for 1.61 acres of land to allow for the construction of a 9,151 square foot AAA Travel and Insurance and AAA Tire and Auto Care facility located on the south side of Dayton-Xenia Road, approximately 100 feet west of the intersection of North Fairfield Road and Dayton-Xenia Road. The property is further described as Book 5, Page 5, Parcel 87 on the Greene County Property Tax Atlas.

Peter Joseph stated they are requesting site plan approval for a 9,100 square foot building with 43 parking spaces on Dayton-Xenia Road. He said the site plans the Commission had were slightly modified based on the recommendations from staff and engineering.

Mr. Burkett summarized the staff report dated January 29, 2016 which stated if the application were to be approved it would allow for the construction of 9,100 square foot combined AAA Travel and Insurance/AAA Tire and Auto Care Store on 1.61 acres. He discussed the location of the property which was rezoned in July 2015 which includes two halves. He explained the western has been designated for AAA and the western half which was not being discussed at this meeting. He explained the rezoning included a 50 foot buffer next to the residential property. He reviewed the proposed site plan explaining the access points include a full access point at the western entrance and a right in, right out access at the eastern portion of the site plan. He discussed the site plan, the proposed building design, the landscaping, lighting and signage along with several conditions listed in the resolution. Staff recommended approval of the case with 19 conditions.

There being no public input, the public hearing was closed.

Mr. Curran questioned the distance between the trash collection container and the residential circular drive. Mr. Burkett said approximately 80-90 feet.

Mr. Erbes asked if there could be a restriction on delivery hours. Mr. Burkett replied they could add the same time restrictions as exterior construction hours from 7:00 a.m. to 7:00 p.m. Monday thru Saturday. Mr. Erbes asked if there was a concern with erosion where there are slope changes. Mr. Burkett explained there were concerns with engineering and since this is a preliminary engineered site plan, the engineering department will have to sign off on it prior to the issuance of any permits. He said this will ensure it meets the code and all safety requirements. Mr. Erbes questioned the location of the sign along Dayton-Xenia Road. Mr. Burkett said there is a limited amount of space between the

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sidewalk and the parking lot. He said it was moved as far back as possible and the engineer was not concerned about the line of site. Mr. Erbes questioned if the right in and right out was restrictive enough during the high traffic times. Mr. Burkett said if they are constructed properly it will work.

Mr. Archibald verified the main entrance on the Dayton-Xenia Road side was for both the travel/insurance and the auto care. Mr. Joseph replied yes. Mr. Archibald questioned if there should be a handicapped parking space on the west side of the parking lot. Mr. Joseph explained there is no foot traffic into the bay area or exterior doors on the southern portion of the property. He said they treat it as a valet service where the customer pulls up to the front of the building and representative from AAA will meet them. Mr. Archibald asked Mr. Joseph to consider putting in a third handicapped spot on the west side of the parking lot. Mr. Joseph said he would. Mr. Archibald said this is the corner of downtown Beavercreek and asked if staff was comfortable with the signage. Mr. Burkett said there isn't a huge sign and not intrusive to the building.

Mr. McHugh clarified if the delivery hours were restricted during construction or for all deliveries. Mr. Burkett said for all deliveries. Mr. McHugh suggested there be a separate condition for delivery hours.

Mr. Erbes MOVED to approve PUD 15-3 SSP #1 with 20 conditions:

1. The approved site plan and architectural elevations shall be the plans dated "Received January 27, 2016" except as modified herein.
2. A PUD Agreement must be signed by the owner and a bond or letter of credit for the site landscaping must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
3. The final landscape plan shall be reviewed and approved by the Planning Department prior to the release of a zoning permit for the building. The final landscape plan shall include landscaping around the perimeter of the northern portion of the building, subject to review by the Planning Department.
4. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally installed, within three months weather permitting.

5. Any portion of the site disturbed by grading or by the removal of former structures and/or pervious surfaces and on which no construction occurs within three months after completion of the site grading, shall be planted with appropriate ground cover and properly maintained. Such areas shall be shown as part of the final landscape plan.
6. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including the storm drainage facilities. The City reserves the right to require more frequent collection as necessary.
7. All building mechanical equipment is to be screened from all directions with architectural features (roof forms or parapet walls) on each building. Metal screening will not be accepted. Pad mounted equipment must be screened with landscaping and/or masonry walls and shall not be visible to the public.
8. Gutters and downspouts shall not be visible on any elevation of the building. They shall be internally mounted
9. Prior to the issuance of a zoning permit, final cut sheet details and photometric plans for lighting of the site shall be reviewed and approved by the Planning Department. Maximum mounting height for any parking fixture shall be 16 feet (including the concrete base), and no pole shall be located in the paved area of the parking field. All light fixtures and related illumination of the site must meet the conditions outlined in the Zoning Code. Lights in the parking lot shall be reduced to no greater than 25 percent illumination level within one hour of closing.
10. Final topography and grading plans shall be submitted for review and approval by the City Engineer prior to the issuance of a site-grading or zoning permit.
11. Final drainage calculations shall be approved by the City Engineer prior to the release of the record plan for recording.
12. Exterior construction hours for the site shall be limited to 7:00 AM to 7:00 PM, Monday thru Saturday.
13. Temporary parking blocks shall be added to the easternmost parking spaces until the eastern portion of the PUD is developed.

14. All man-doors, service doors and loading dock doors shall be painted to match the color of the building as to blend in with the proposed façade.
15. Any split-face block, EIFS, or concrete masonry unit block will be of integral color and not a material that is painted on the outside only
16. No vehicles shall be parked outside of the building overnight or for long-term parking on the weekends.
17. The ground sign, which shall include a minimum 1-foot tall, brick and/or stone base, shall be a maximum of 5 feet tall and have a maximum 32 square feet per sign face. The final design and location shall be subject to review and approval by the Planning Department prior to release of a permit for the sign. Any ground sign shall be set in a base that shall be constructed of the same brick as used to construct the principal structure.
18. All wall signs shall be individually mounted channel letters or panels. No raceways shall be permitted. The sizes of the signs shall be limited to the sizes shown on the approved architectural elevations. The final design and location shall be reviewed and approved by the Planning Department prior to the release of the sign permit.
19. All trash collection containers shall be screened from view and enclosed within a permanent dumpster enclosure or stored completely within the building. Any dumpster enclosure shall be constructed of the same materials as the primary building and have a closable, lockable gate. The final design of the dumpster enclosure shall be reviewed and approved by the Planning and Zoning Department prior to the issuance of any zoning permits.
20. Delivery hours for the site shall be limited to 7:00 a.m. to 7:00 p.m. Monday thru Saturday.

Motion was seconded by Mr. Curran. Motion PASSED by a roll call vote of 3-0.

ADJOURNMENT

Mr. Erbes MOVED to adjourn at 8:21 p.m., seconded by Mr. Curran. Motion PASSED by majority voice vote.

Dianne Lampton
Clerk of Council

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: March 2, 2016 Agenda Reference No.	Reference Topic Z 16-2 4230 Dayton-Xenia Road (R1-A to RO-1)
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ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

REQUEST BY APPLICANT:

This case was tabled at the February Planning Commission meeting. The applicant has provided an additional site plan showing improvements to the exterior of the property as well as some photographs of the interior work that is underway, which have been attached. The February staff report has also been attached for reference.

STAFF RECOMMENDATION:

Staff is recommending approval of this rezoning request as outlined in the attached Resolution.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, disapproval, or tabling of the attached application for further review.

CITY OF BEAVERCREEK STAFF REPORT

January 20, 2016

PROJECT: Z 16-2 (4230 Dayton-Xenia Road)

APPLICANT: Clyde and Patricia Corle
3439 Riva Court
Beavercreek OH 45432

REQUEST

The applicant is requesting to rezone the property at 4230 Dayton-Xenia Road from R-1A One-Family Residential to RO-1, Residential Office in order to operate a real estate agency from the existing structure.

EXISTING CONDITIONS

Current Zoning and Land Use

As stated, the property is currently zoned R-1A, one family residential. It contains a 1,762 square foot, single-story residential structure and a 1,100 square foot detached garage. It is a non-conforming lot due to not meeting the minimum lot size requirement of 20,000 square feet for an R-1A zoning district. This non-conformity was created when the right-of-way was acquired in order to widen Dayton-Xenia Road. The primary structure is non-conforming as it does not meet the minimum setback requirements of 40 feet in the front yard. The garage is also non-conforming because it exceeds the allowed square footage for an accessory structure in a residential district by 219 square feet.

Surrounding Zoning

The subject property is immediately surrounded to the north, east, and west by one family residentially zoned (R-1A) properties. To the south, across Dayton-Xenia Road, is Calvary Chapel of Dayton and Hawker Cemetery, both zoned agriculturally (A-1).

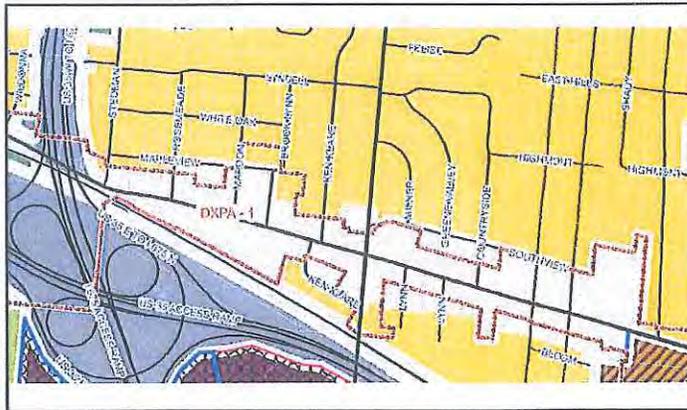


The two properties to the west are used residentially as well as the two properties to the east. The lot at the northwest corner of Dayton-Xenia Road and Rosemeade Avenue contains a single family structure and a parking lot for the Calvary Chapel. As you move east along Dayton-Xenia, the majority of the properties on the north side of the road are zoned for office and community business.

ANALYSIS

The City of Beavercreek Land Use Plan calls for neighborhood commercial or neighborhood office in this section of the Dayton-Xenia Corridor. It is the intent of this area to provide local services to residents that live nearby as well as low intensity and small-scale office uses. The reuse of the existing residential structure for an office use is compatible with the Land

Use Plan's designation in this location.



The RO-1 zoning district being proposed is intended to serve as a transitional zone between residential districts and more intense commercial uses. This zoning designation still gives the owner the option of continuing to use the property residentially but also allows for some very low intensity office uses such as

medical doctors, lawyers, engineers, and similar uses that do not create significant noise or generate additional traffic.

As previously stated, the applicant intends to use this property as a real estate office, proposing to make no changes to the exterior of the structure. The existing parking areas will be resurfaced and striped to accommodate 5 vehicles, as the applicant has indicated that there will be three employees on site at any one time. Closings and other such meetings would be held off site necessitating only two additional spaces for potential clients.

Should there be plans in the future for significant changes to parking, lighting, or structures, the requirements of the RO-1 zoning district would have to be met and Planning Commission approval through the ASRA (Administrative Site Plan Review and Approval) process may be required as outlined in §158.075. Greene County Building Regulation may require the building and site to be made handicap accessible prior to allowing occupancy, and the applicant has been made aware of this. One ground sign would be permitted on the property no larger than 15 square feet per sign face and no taller than four feet.

One of the primary goals of the Dayton-Xenia Corridor Task Force was to encourage re-investment in older structures, whether commercial or residential, specifically along the western portion of Dayton-Xenia Road. This block in particular has had several challenges in the past concerning property maintenance, including this property. The applicant's intent to occupy the existing building with a low intensity use and to clean up the exterior property areas falls in line with the type of progress the task force desires.

Although the buildings will continue to be non-conforming in regard to setbacks and size, should this rezoning request be approved, the property would meet the minimum lot size requirement of the RO-1 zoning district of 16,000 square feet, thereby decreasing the existing nonconformity.

RECOMMENDATION

Based on the foregoing analysis, staff recommends approval of this request as outlined in the attached Resolution.

RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
March 2, 2016

RE: Z-16-2
R-1A One Family Residential
District to RO-1 Residential/Office
District

WHEREAS, Clyde E. and Patricia A. Corle, 3439 Riva Court, Beavercreek OH 45430, have filed an application requesting approval of an amendment of zoning classification from R-1A One Family Residential to RO-1 Residential/Office District for 0.47 acres, located at 4230 Dayton-Xenia Road, further described as Book 2 Page 4, Parcel 36 on the property tax maps of Greene County, Ohio; and

WHEREAS, a public hearing was held on March 2, 2016 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission recommends to Beavercreek City Council the following:

A. That approximately 0.47 acres of land incorporated within this request and known as B42000200040003600 and as further described in the attached Exhibit A be rezoned to RO-1, Residential/Office District.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED:

VOTING FOR ADOPTION:

AGAINST:

ABSENT:

Chairman

Attest:

EXHIBIT "A"

Situated in the City of Beavercreek, County of Greene and State of Ohio and being Lot Number 36 Beaver Brook as recorded in Plat Book 3, page 165 nka Plat Cabinet 32, page 40A of the Plat Records of Green County, Ohio:

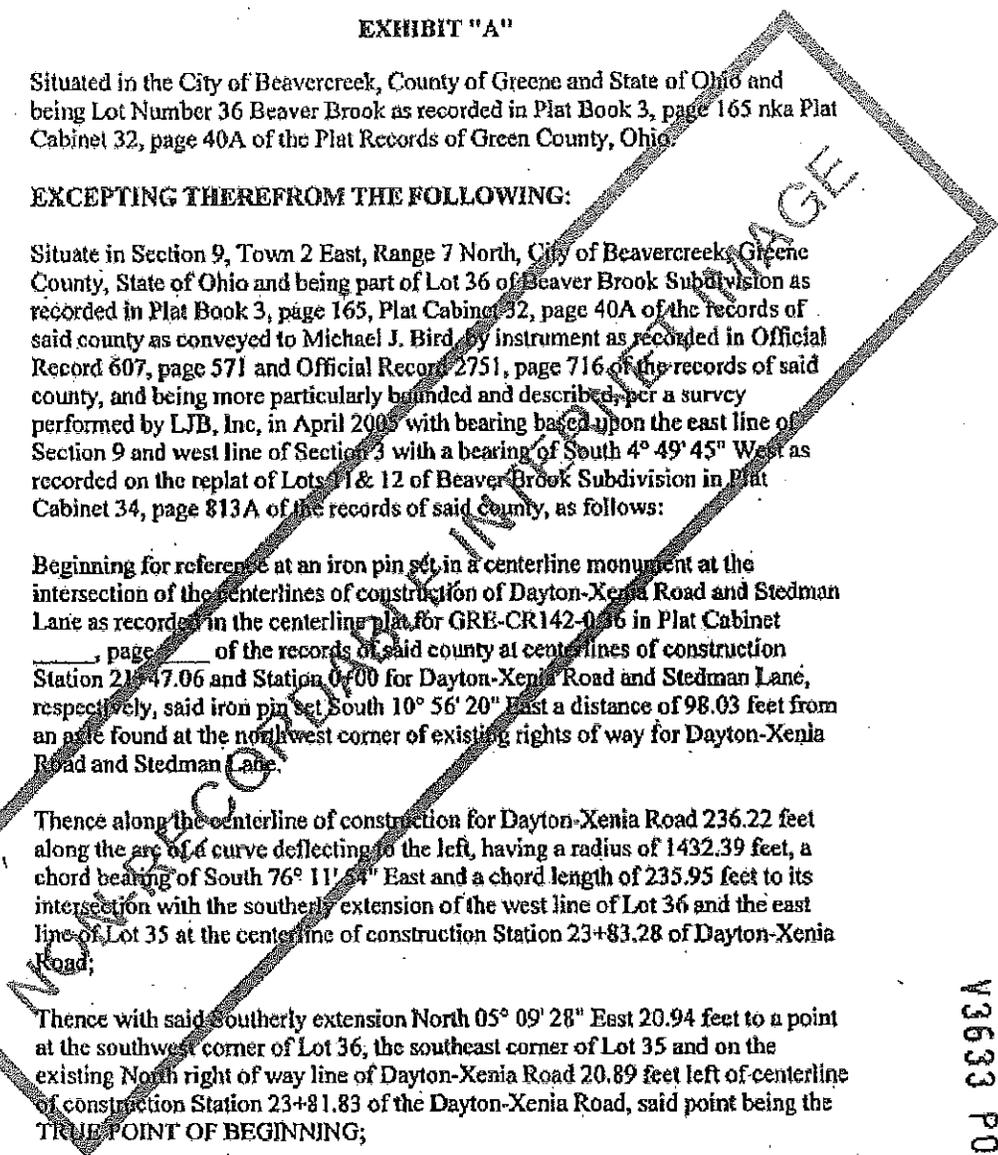
EXCEPTING THEREFROM THE FOLLOWING:

Situate in Section 9, Town 2 East, Range 7 North, City of Beavercreek, Greene County, State of Ohio and being part of Lot 36 of Beaver Brook Subdivision as recorded in Plat Book 3, page 165, Plat Cabinet 32, page 40A of the records of said county as conveyed to Michael J. Bird, by instrument as recorded in Official Record 607, page 571 and Official Record 2751, page 716 of the records of said county, and being more particularly bounded and described, per a survey performed by LJB, Inc. in April 2005 with bearing based upon the east line of Section 9 and west line of Section 3 with a bearing of South 4° 49' 45" West as recorded on the replat of Lots 11 & 12 of Beaver Brook Subdivision in Plat Cabinet 34, page 813A of the records of said county, as follows:

Beginning for reference at an iron pin set in a centerline monument at the intersection of the centerlines of construction of Dayton-Xenia Road and Stedman Lane as recorded in the centerline plat for GRE-CR142-036 in Plat Cabinet _____, page _____ of the records of said county at centerlines of construction Station 21+47.06 and Station 0+00 for Dayton-Xenia Road and Stedman Lane, respectively, said iron pin set South 10° 56' 20" East a distance of 98.03 feet from an angle found at the northwest corner of existing rights of way for Dayton-Xenia Road and Stedman Lane.

Thence along the centerline of construction for Dayton-Xenia Road 236.22 feet along the arc of a curve deflecting to the left, having a radius of 1432.39 feet, a chord bearing of South 76° 11' 54" East and a chord length of 235.95 feet to its intersection with the southerly extension of the west line of Lot 36 and the east line of Lot 35 at the centerline of construction Station 23+83.28 of Dayton-Xenia Road;

Thence with said southerly extension North 05° 09' 28" East 20.94 feet to a point at the southwest corner of Lot 36, the southeast corner of Lot 35 and on the existing North right of way line of Dayton-Xenia Road 20.89 feet left of centerline of construction Station 23+81.83 of the Dayton-Xenia Road, said point being the TRUE POINT OF BEGINNING;



V3633 P0399

EXHIBIT "A" Cont.

Parcel 7WD

Thence along the West line of Lot 36 and the East line of Lot 35 North 05° 09' 28" East 21.02 feet to an iron pin set on the new North right of way line of Dayton - Xenia Road at 41.86 feet left of centerline of construction Station 23+80.33 of Dayton-Xenia Road;

Thence along the new North right of way line 99.82 feet along the arc of a curve deflecting to the left, having a radius of 1894.75 feet, a chord bearing of South 80° 01' 02" East and a chord length of 99.80 feet to an iron pin set on the east line of Lot 36 and the west line of Lot 37, 39.25 feet left of the centerline of Station 24+80.67 of Dayton-Xenia Road;

Thence along the east line of Lot 36 and the west line of Lot 37 South 05° 09' 28" West 18.28 feet to a point at the southeast corner of Lot 36, the southwest corner of Lot 37 and on the existing north right of way line at 21.00 feet left of the centerline of Station 24+81.70 of Dayton-Xenia Road;

Thence along the south line of Lot 36 and the existing north right of way of North 81° 35' 20" West, 57.61 feet to the TRUE POINT OF BEGINNING.

The above described area contains 0.044 acres of land more or less, subject to all legal easements and restrictions of record, of which the present road occupies 0.000 acres of land.

The description for parcel Number 7WD above was calculated and derived from a survey made under the supervision of Harry G. Herbst III, Ohio Registered Surveyor Number 6596.

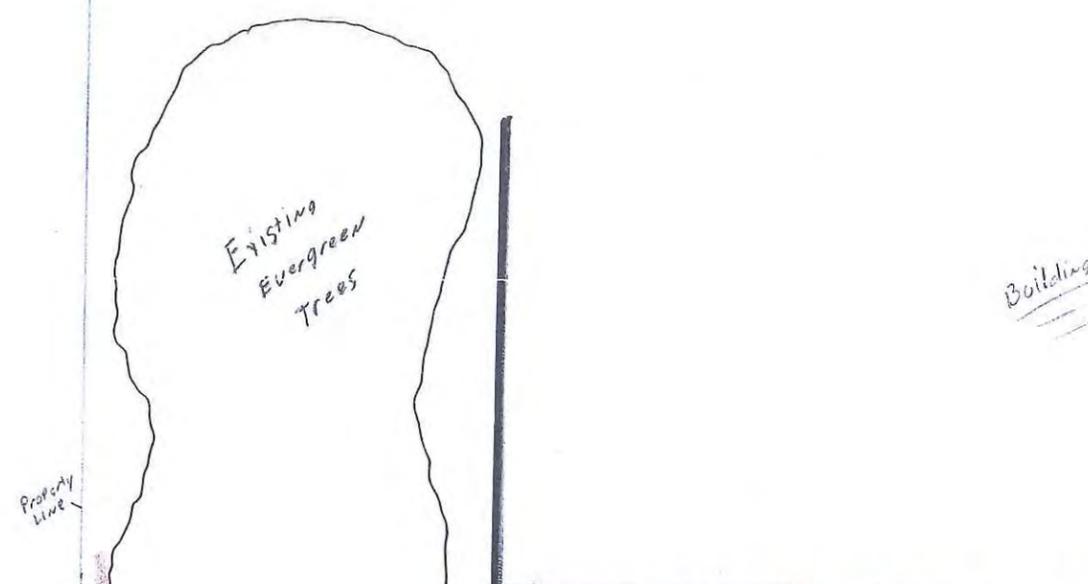
Note: Iron pins, railroad spikes, and pk nails referred to as "to be set" shall be set by LJB, Inc. upon the completion of construction. Iron pins set in the above description as 3/4" x 30' reinforcing rod with a plastic cap stamped "LJB INC".

The above described area is contained within the Greene County Auditor's Parcel Identification Number B42000200040003600. Within said bounds of the 0.044 acres more or less, is the present road right of way

Property Address: 4230 Dayton Xenia Rd., Dayton, OH 45432

Description Check
 Greene County Engineer's Tax Map Dept.
 Legally Sufficient As Described
 Legally Sufficient With Corrections Noted
 Legally Insufficient, New Survey Required
 Date: 8/18/15
 Par ID Dist 692 Bk 1 Pg 4 PAR 31a

V3633 P0400



4230" - Dayton Kevin E.J.

RECEIVED
FEB 17 2016
CITY OF BEAVERCREEK
PLANNING DEPARTMENT
Design By: [Signature] 2-16-16











**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: March 2, 2016	Reference Topic PUD 541 MOD 2-16
Agenda Reference No.	Flying Ace Express Car Wash/Starbucks Site Plan

ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

REQUEST BY APPLICANT:

The applicant is requesting approval of a major modification to the existing site plan to allow for the construction of a new 4,300 square foot Flying Ace Express Carwash, and a 1,970 square foot Starbucks on 1.321 acres. The project is located at the northeast corner of Indian Ripple Road and County Line Road.

STAFF RECOMMENDATION:

Staff is recommending approval of this rezoning request as outlined in the attached Resolution.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, disapproval, or tabling of the attached application for further review.

CITY OF BEAVERCREEK STAFF REPORT

February 26, 2016

PROJECT: Flying Ace Express Carwash/Starbucks's

CASE NO.: PUD 541 MOD 2/16 (Major)

APPLICANT: Flying Ace Express Carwash
c/o Dan Eisenhauer (Agent for owner)
7175 Far Hills Ave.
Dayton, OH 45459

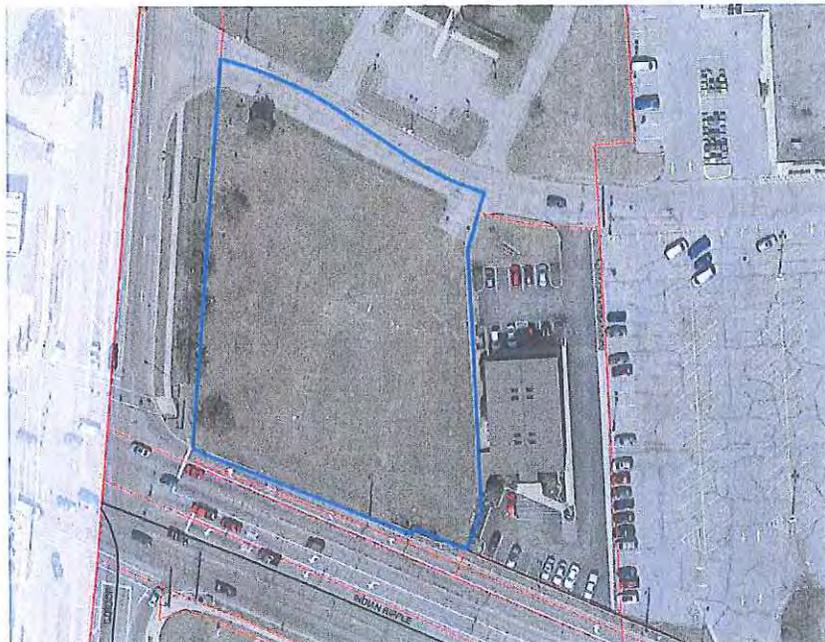
REQUEST

The applicant is requesting approval of a major modification to the existing site plan to allow for the construction of a new 4,300 square foot Flying Ace Express Carwash, and a 1,970 square foot Starbucks on 1.321 acres. The project is located at the northeast corner of Indian Ripple Road and County Line Road.

ANALYSIS

Existing Conditions

The site is currently a vacant, 1.32-acre property, with 270 feet of frontage on County Line Road and 200 feet of frontage on Indian Ripple Road. There is an existing access point to the site from the private access road for Greene Crossings Shopping



Center. Formerly, the site contained the China House restaurant, which after a period of being vacant, was demolished and the site was seeded.

Zoning and Surrounding Uses

The property is currently zoned B-3 with a PUD 541 overlay. Restaurants and vehicle wash facilities are a permitted use within this zoning district.

The surrounding zoning and uses are as follows:

Direction	Surrounding Zoning	Surrounding Use
North	PUD 541	Animal hospital
South	B4	Automobile Vehicle Repair (Oil Change)
East	PUD 541	Accounting Firm
West	Kettering	Automobile Fueling Station

Building Design

Flying Ace Express Carwash

The single story carwash is proposed to be constructed so as to resemble an airplane hangar. It will be constricted mostly of a brown and tan brick, with a red brick base that wraps the entire structure, and be the western of the two proposed buildings. The building will be 35.5 feet wide, 123 feet long and, approximately 21.5 feet to the top of the arched roof. The north and south elevations will have red brick columns at the four corners of the building. The western elevation has several small windows covered by grey standing seam metal awnings. The same grey standing seam metal is proposed to be used to construct the roof of the building. In addition to the small windows, the western elevation shows an airplane mural, with faux hanger doors to further give the appearance of an airplane hangar. The eastern elevation shows large storefront windows and two three foot by five foot interchangeable menu board signs.



Existing Flying Ace Express in Centerville off of US 48

Starbucks

In addition to the car wash, the proposed plans call for the construction of a 1,970 square foot, single story rectangular structure, approximately 70 feet long, 30 feet wide, and 19.5 feet to the top of the parapet wall. The building is oriented so that the short axis, the front of the building, is facing Indian Ripple Road. There is also a proposed 265 square foot outdoor patio on the southeast side of the building, surrounded by a decorative aluminum fence.

The building utilizes a variety of materials, and is compatible with the design of the Flying Ace Express Carwash. Included in the design features is a red brick that wraps the entire base of the building, as well as up the elevation near the entryway pilaster. The design also includes grey brick accent bands near the top of the elevations, the middle of the elevations and just above the brick base and metal awnings over the windows and entryways. The remainder of the wall consists of a light tan brick veneer, with beige bricks sporadically laid throughout each elevation.

The proposed dumpster will be located to the northwest of the Flying Ace Express building. While we haven't received any architectural details of the enclosure at this time, Condition #16 of the attached Resolution will ensure it is constructed of materials to match the building (red and brown brick)

Access and Transportation Improvements

The applicant is proposing a single point of access to the site, which will be off the private access drive for the Greene Crossings Shopping Center. There will be no direct access from either Indian Ripple Road or County Line Road to the site. The car wash will have a one way access drive to the west and south of the building. The Starbucks will have a one-way driveway to the east of its building. Between the two buildings is a two way access drive.

Utilities

Water and Sewer services are available to this site.

Stormwater Management

Since this is currently an empty lot (regardless of the fact that there was a restaurant there several years ago), and there will be an increase in the amount of impervious surface to the site, they are required, by ordinance, to detain the stormwater runoff generated by this development. Because of the site size constraints, they are proposing to detain all stormwater generated by this site under the parking lot in a specially designed underground storage containment system. This has been done in other locations in the City, and is acceptable to the City Engineer. The final design and capacity will be reviewed and approved by the Engineering Department prior to any

permit being released for the project.

Parking/Stacking

For automobile washing facilities, the Zoning Code states that there be one off-street parking space for each employee on the largest shift. Based on information provided by the applicant, they will have three employees on the largest shift, thus requiring three off-street parking spaces for the Flying Ace Express Carwash portion of the site. They show six off street parking spaces, plus 10 self-serve vacuum parking spaces. These spaces, because of the self-serve vacuums, are shown as 12 feet wide, rather than the typical 9 feet.

In addition to off-street parking, the Zoning Code requires that businesses which are principally (or solely) drive-thru oriented have adequate space for stacking of vehicles. The intent is to ensure that customers/vehicles waiting for service do not interfere with the normal flow of traffic in and around the site. Specifically, the code requires that automatic car washes provide at least 10 spaces. To the west of the proposed Flying Ace Express Carwash is a double lane drive thru stacking area that funnels into one lane when approaching the front bay door. Based on the length of these two lanes, there is enough room for stacking up to at least 16 cars at any given time.

For restaurants in straight zoning districts, the Zoning Code states that there be one parking space for every 100 square feet of indoor floor area, one parking space for every 200 square feet of outdoor patio area, and one parking space for each employee on the largest shift. Based on 1,970 square feet of indoor floor area, and 260 square feet of outdoor patio, they are required to have 21 parking spaces plus one for each of the 5 employees on the largest shift. That comes to a total of 26 parking spaces for the Starbucks portion of the site. The plans show 23 spaces. However, with the excess parking for the Flying Ace Express, staff is confident there is ample parking on the site as a whole.

The Americans with Disabilities Act requires that parking lots consisting of between 26 and 50 spaces, designate at a minimum two parking spaces as handicap accessible/reserved. The plans show three spaces. They exceed ADA minimum parking requirements.

Screening, Landscaping and Open Space

The landscape plan included in your packets shows a variety of shade and ornamental trees, as well as various decorative shrubs and grasses. Staff is pleased with the overall design of the landscape plan. A condition has been added that the final design should be reviewed and approved by the Planning Department prior to the release of a zoning permit.

For PUDs, there is a requirement that no more than 75% of a site be impervious surface post development. Based on their calculations, should this application be approved, the 1.32 acre site will be approximately 27% pervious surface, which is within the minimum requirements.

Lighting

Included in your packet is a preliminary lighting/photometric plan. The plan shows the use of 20' light poles with full cut off LED fixtures. Additionally the plans call for LED wall pack lighting to be used on both buildings. Staff has added a condition that requires a final photometric plan be reviewed and approved by the Planning Department prior to the issuance of a zoning permit for this PUD.

Signage

Ground

While no specific ground sign design has been included in your packet, staff has added a condition that limits the site to only one ground sign. The condition further establishes size and design criteria. Specifically, they will be limited to a five foot tall sign that has a maximum of 32 square feet per sign face. The sign will have to be placed on a one foot brick base and wrap that matches the building. The final design and location will be approved by the Planning Department prior to the release of a permit for the sign.

Wall

The Ace Flying Express building, as shown on the architectural elevations dated "Received February 17, 2016," include wall signage for all four elevations of the building. The northern elevation, which is the exit elevation, and the southern elevation which is the entrance elevation both show a 36 square foot logo sign. As mentioned in the architectural elevation portion of the report, the western elevation shows a 270 square foot mural, to simulate the interior of an airplane hangar, and the eastern elevation shows two interchangeable menu board signs. While there is signage on all four elevations of the building, the amount of signage is not intrusive or unsightly.

The Starbucks building shows three signs on the western elevation, one sign on the eastern elevation and two signs on the southern elevation. The western elevation, which is the front of the building, shows a 28 square foot

Starbucks Logo sign, a 1.5 square foot drive thru sign and a 21.9 square foot letter sign. The southern elevation, which will face Indian Ripple Road shows the 21.9 square foot letter sign, and the 1.5 square foot drive thru sign. Staff doesn't have a concern about the signs on these two elevations. However, staff has added a condition to the proposed Resolution that requires the



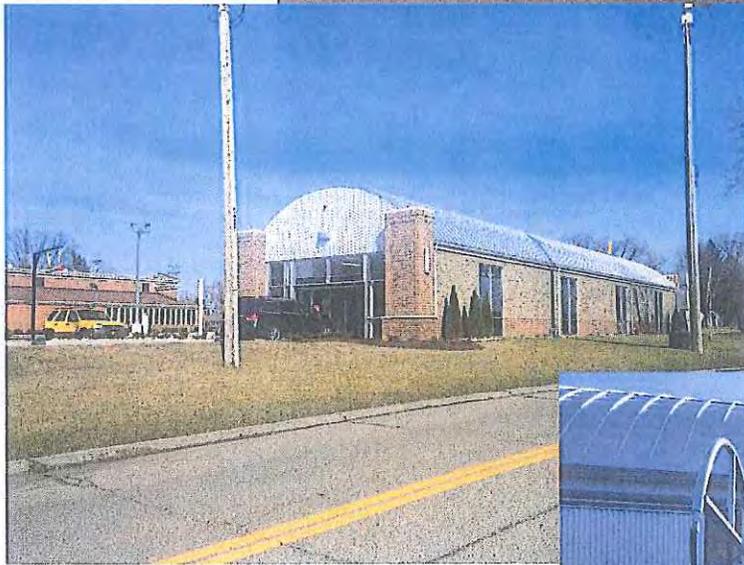
Proposed Flying Ace Express Logo Sign

removal of the eastern elevation sign. As this building is parallel to, and only 40 feet from the accounting firm building to the east, the only ones who will be able to see the sign will be in fact the accountants.

RECOMMENDATION

Based on this analysis, staff recommends approval of this request subject to the conditions outlined in the attached resolution.

More photos of existing Flying Ace Express on US 48



RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
March 2, 2016

RE: PUD 541 MOD 2/16
Flying Ace Express Car
Wash/Starbucks

WHEREAS, Flying Ace Express Car Wash, LLC, 5157 Far Hills Avenue Dayton Ohio 45459, agent for the property owner, has filed an application requesting approval of a Specific Site Plan for the construction of a 4,300 square foot car wash facility and a 1,970 square foot Starbucks Restaurant on 1.321 acres, located on the northeast corner of County Line Road and Indian Ripple Road, further described as Book 3, Page 7, Parcel 1 on the tax maps of Greene County, Ohio; and

WHEREAS, public hearing was held on March 2, 2016 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Beavercreek Planning Commission finds that the facts submitted with this PUD Major Modification application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Specific Site Plan approval as per §158.070 of the Zoning Code; and

WHEREAS, the Beavercreek Planning Commission is taking administrative action in approving this PUD Major Modification.

NOW, THEREFORE BE IT RESOLVED,

SECTION I

The Beavercreek Planning Commission recommends to Beavercreek City Council approval of this major modification for Flying Ace Express Car Wash/Starbucks, PUD 541, MOD 2/16 with the following conditions and requirements.

SECTION II

1. The approved site plan shall be the plans dated "Received February 24, 2016", the architectural elevations for Starbucks shall be the plans dated "Received February 8, 2016", and the architectural elevations for Flying Ace Express Carwash shall be the plans dated "Received February 17, 2016", except as modified herein.

2. A PUD Agreement must be signed by the owner and a bond or letter of credit for the site landscaping must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
3. The final landscape plan shall be reviewed and approved by the Planning Department prior to the release of a zoning permit for the building. The final landscape plan shall include landscaping around the perimeter of the northern portion of the building, subject to review by the Planning Department.
4. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally installed, within three months weather permitting.
5. Material and color samples shall be submitted to the Planning Department for review and approved prior to the issuance of a zoning permit.
6. The façade shall not be painted or altered without the expressed approval of the Planning Department and/or Planning Commission
7. Any portion of the site disturbed by grading or by the removal of former structures and/or pervious surfaces and on which no construction occurs within three months after completion of the site grading, shall be planted with appropriate ground cover and properly maintained. Such areas shall be shown as part of the final landscape plan.
8. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including the storm drainage facilities. The City reserves the right to require more frequent collection as necessary.
9. All building mechanical equipment is to be screened from all directions with architectural features (roof forms or parapet walls) on each building. Metal screening will not be accepted. Pad mounted equipment must be screened with landscaping and/or masonry walls and shall not be visible to the public.
10. Gutters and downspouts shall not be visible on any elevation of the Starbuck's building. They shall be internally mounted.
11. Prior to the issuance of a zoning permit, final cut sheet details and photometric plans for lighting of the site shall be reviewed and approved by the Planning

Department. No pole shall be located in the paved area of the parking field. All light fixtures and related illumination of the site must meet the conditions outlined in the Zoning Code. Lights in the parking lot shall be reduced to no greater than 25 percent illumination level within one hour of closing.

12. Final topography and grading plans shall be submitted for review and approval by the City Engineer prior to the issuance of a site-grading or zoning permit.
13. Final drainage calculations shall be approved by the City Engineer prior to the release of the zoning permit.
14. All man-doors, service doors and loading dock doors shall be painted to match the color of the building as to blend in with the proposed façade.
15. Any split-face block, EIFS, or concrete masonry unit block will be of integral color and not a material that is painted on the outside only
16. There shall be a maximum of one ground sign for this project. The ground sign, which shall include a minimum 1-foot tall, brick and/or stone base and wrap, shall be a maximum of 5 feet tall and have a maximum 32 square feet per sign face. The final design and location shall be subject to review and approval by the Planning Department prior to release of a permit for the sign. Any ground sign shall be set in a base that shall be constructed of the same brick as used to construct the principal structure.
17. All wall signs shall be individually mounted channel letters or panels. No raceways shall be permitted. The sizes of the signs shall be limited to the sizes shown on the respective approved architectural elevations. The final design and location shall be reviewed and approved by the Planning Department prior to the release of the sign permit.
18. All trash collection containers shall be screened from view and enclosed within a permanent dumpster enclosure or stored completely within the building. Any dumpster enclosure shall be constructed of the same materials as the primary building and have a closable, lockable gate. The final design of the dumpster enclosure shall be reviewed and approved by the Planning and Zoning Department prior to the issuance of any zoning permits.
19. The wall sign shown on the eastern elevation of Starbuck's shall not be permitted.

SECTION III

These plans and all papers relating to the approved plan shall be submitted with this Resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED:

VOTING FOR ADOPTION:

VOTING AGAINST:

ABSENT:

Chairman

Attest:

PUD 541 MOD 2/16 Flying Ace Express Carwash/Starbucks Resolution

GENERAL NOTES

1. EXISTING UNDERGROUND UTILITIES AND SERVICES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO THE BEST INFORMATION AVAILABLE. THE LOCATIONS SHOWN ARE INTENDED ONLY AS A GUIDE AND CANNOT BE GUARANTEED ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - A) CONTACTING THE INDIVIDUAL UTILITY OWNERS TEN (10) DAYS PRIOR TO CONSTRUCTION AND ADVISING THEM OF THE WORK TO TAKE PLACE.
 - B) SOLICITING THEIR ADVICE IN LOCATING AND PROTECTING ANY UTILITY WHICH MAY INTERFERE WITH CONSTRUCTION.
 - C) EXCAVATING AND VERIFYING THE HORIZONTAL AND VERTICAL LOCATION OF EACH UTILITY.
 - D) ALL DAMAGE TO ANY EXISTING UTILITY.
 - E) CONTACTING THE FOLLOWING OWNERS OF UNDERGROUND UTILITIES 48 HOURS BEFORE DIGGING IS TO COMMENCE.

OHIO UTILITIES PROTECTION SERVICE (OUPS)
 100 FEDERAL PLAZA EAST, LOWER LEVEL
 YOUNGSTOWN, OH 44503
 1-800-362-2764

DAYTON POWER AND LIGHT CO.
 1500 DRYDEN RD.
 637-331-4240
 DAYTON, OH 45401

WATER AND SANITARY GREENE COUNTY SANITARY
 667 DAYTON-XENA ROAD
 XENA, OH 45385
 (937) 562-7450

STORM SEWER/STREETS CITY OF BEAVERCREEK
 1368 RESEARCH PARK DR.
 BEAVERCREEK, OH 45422
 (937) 427-5513

AT&T
 3233 WOODMAN DR.
 DAYTON, OH 45420
 226-2806 7AM-5PM
 1-800-572-4747 AFTER 5

VESTIBULE
 6500 OLYO RD.
 CENTERVILLE, OH 45404
 937-312-2533

ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF OUPS

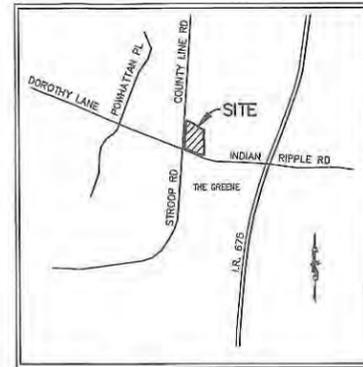
2. ALL ITEMS OF WORK CALLED FOR ON THE PLANS FOR WHICH NO SPECIFIC METHOD OF PAYMENT IS PROVIDED SHALL BE PERFORMED BY THE CONTRACTOR, AND THE COST OF SAME SHALL BE INCLUDED IN THE PRICE BID FOR RELATED ITEMS.
3. WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT EXACT ELEVATIONS MAY BE DETERMINED AND THE NECESSARY ADJUSTMENT MADE. COST OF THE ABOVE, IF ANY, WILL BE INCLUDED IN THE PRICE BID FOR THE PERTINENT ITEM.
4. ALL TRENCHES WITHIN ROAD RIGHT-OF-WAYS SHALL BE BACKFILLED ACCORDING TO THE CITY OF BEAVERCREEK TRENCH RESTORATION SPECIFICATIONS WHICHEVER IS MORE STRICT.
5. ALL EXISTING SANITARY SEWER AND WATER LINE FACILITIES THAT ARE UTILIZED DURING CONSTRUCTION MUST BE REPAIRED AND BROUGHT TO FINAL GRADE.
6. DUE TO SOIL TYPES AND/OR SHALLOW BEDROCK, SEASONAL SEEPS MAY OCCUR, SUCH SEEPAGE SHALL BE IDENTIFIED DURING CONSTRUCTION AND PIPED INTO THE STORM SEWER SYSTEM.
7. ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE "OHIO MANUAL OF TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS", COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 25 S. FRONT STREET, COLUMBUS, OH 43215.
8. THE CONTRACTOR AND SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. SAFETY REQUIREMENTS, OUTLINED IN THE STATE OF OHIO "CONSTRUCTION SAFETY CODE" FOR THIS TYPE OF WORK WILL BE ENFORCED AND THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE CODE ISSUED AS A GENERAL ORDER BY THE INDUSTRIAL COMMISSION OF OHIO.
9. EXISTING DRAIN TILE DAMAGED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED OR CONNECTED TO THE STORM SEWER AS DIRECTED BY THE CITY OF BEAVERCREEK ENGINEER. NO PAYMENT WILL BE MADE FOR TILE REPLACEMENT.
10. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL MEET WITH AND SUBMIT A CONSTRUCTION SCHEDULE TO THE GREENE COUNTY SANITARY ENGINEER, AND SECURE ALL NECESSARY LICENSES AND PERMITS. THE CONTRACTOR SHALL INFORM THE GREENE COUNTY SANITARY ENGINEER OF ANY AND ALL CHANGES IN HIS CONSTRUCTION SCHEDULE.
11. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FOR ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL ADJACENT ROADS AND LAND.
12. WHERE THE PLANS AND SPECIFICATIONS CALL FOR A SPECIFIC ITEM (SANITARY AND/OR WATER) OR AN "APPROVED EQUAL," ONLY THE GREENE COUNTY SANITARY ENGINEER SHALL MAKE THE DETERMINATION AS TO WHETHER AN ALTERNATE ITEM IS AN "APPROVED EQUAL."
13. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE DONE TO ADJACENT PROPERTIES OR ANY PROPERTY AFFECTED BY THE CONSTRUCTION WORK. THE CONTRACTOR SHALL TAKE SPECIAL EFFORT TO PROTECT EXISTING TREES AND/OR SHRUBS.
14. NO CONSTRUCTION SHALL COMMENCE UNTIL THE CITY OF BEAVERCREEK ENGINEERING DEPARTMENT PERMITS HAVE BEEN ISSUED.
15. NO ADDITIONS, DELETIONS OR REVISIONS TO THE SANITARY SEWER AND/OR WATER FACILITIES ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE GREENE COUNTY SANITARY DEPARTMENT.
16. NO DIMENSIONS SHALL BE SCALED, REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
17. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
18. ANY WELL, SEPTIC SYSTEM, ETC., ENCOUNTERED ON THIS PROJECT SHALL BE ABANDONED IN ACCORDANCE WITH THE LATEST ODEPA RULES AND REGULATIONS.
19. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, DOWN SPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
20. SITE CONTRACTOR SHALL INSTALL ALL UTILITIES TO WITHIN 5' OF THE BUILDING, LIGHT POLES OR SIGNS AND SHALL COORDINATE LOCATION AND DEPTH WITH BUILDING CONTRACTOR.
21. SITE CONTRACTOR SHALL PULL WIRE OUT TO THE SIGNS AND LIGHTS AND TERMINATE HIS WIRES ON A CIRCUIT IN THE ELECTRICAL PANEL. SITE CONTRACTOR IS RESPONSIBLE FOR CONNECTING ALL SIGNS AND TESTING.
22. SITE CONTRACTOR SHALL PUT IN ALL TRANSFORMER PADS.
23. ALL UTILITY SERVICE CONNECTIONS AND DOWNSPOUT CONNECTIONS FROM 5' OUTSIDE OF BUILDINGS TO BE MADE BY THE BUILDING CONTRACTOR.
24. RIGHTS-OF-WAY, IN ADDITION TO DIRECT REQUIREMENTS OF THE CONTRACT SPECIFICATIONS, THE CONTRACTOR SHALL OBSERVE AND CONFORM TO THE SPECIFIC REQUIREMENTS OF ALL RIGHTS-OF-WAY, INCLUDING BUT NOT LIMITED TO, EASEMENTS, COURT ENTRIES, RIGHT OF ENTRY, OR ACTION FILED IN COURT, IN ACCORDANCE WITH THE CODE OF THE APPLICABLE GOVERNING AGENCY. THE COST OF THE OPERATIONS NECESSARY TO FULFILL SUCH REQUIREMENTS SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS OF THE CONTRACT.
25. NOTICE TO BIDDERS, PRIOR TO ANY SUBSURFACE INVESTIGATION OR ON-SITE EXAMINATION OF THE PROJECT, ALL BIDDERS SHALL OBTAIN APPROVAL FROM THE OWNER.
26. SLOPE: SLOPES GREATER THAN 3:1 SHALL BE COVERED WITH EROSION CONTROL MAT. MAT SHALL BE CONTACT ARO-MAT OR APPROVED EQUAL. IF MAT IS NOT BIODEGRADABLE THE CONTRACTOR SHALL REMOVE IT PRIOR TO THE FIRST MOWING. SLOPES WITHIN THIS DEVELOPMENT SHALL NOT EXCEED A MAXIMUM OF 3:1.
27. ALL SIGNALS AND INTEGRAL CURBS AT SIDEWALKS ADJACENT TO THE BUILDINGS, LOADING DOCK SLAB, AND RETAINING WALLS ARE INCLUDED IN THE BUILDING PACKAGE. THE SITEWORK PACKAGE IS TO INCLUDE DOLLY PADS IF SHOWN ON PLANS, TRANSFORMER PADS, AND LIGHT POLE BASES.
28. PERMITS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, AND LICENSE FEES.
29. TESTING: THE OWNER SHALL PAY FOR ALL SITE COMPACTION TESTING, BUT CONTRACTOR SHALL PAY FOR ALL RE-TESTING REQUIRED.
30. CONCRETE CURB: ALL CURB SHALL HAVE A MINIMUM OF 1/8 INCH CONTRACTION JOINTS CONSTRUCTED AT TEN FOOT INTERVALS. THE DEPTH OF THE JOINT SHALL AVERAGE TWO INCHES OR MORE. EXPANSION JOINT STRIPS THE DEPTH OF THE CURB SHALL BE USED AT THE BEGINNING AND END OF CURVES WHICH RADIUS IS LESS THAN 200 FEET AND WHENEVER IT BECOMES NECESSARY TO SUSPEND THE WORK FOR 30 MINUTES OR MORE.
31. ALL JOINTS BETWEEN ASPHALT PAVEMENT AND CONCRETE WALK, CONCRETE PAVEMENT, CONCRETE LIGHT POLES AND IN CONCRETE CATCH BASINS SHALL BE SEALED NEATLY WITH ASPHALTIC CEMENT.

FLYING ACE CAR WASH INDIAN RIPPLE & COUNTY LINE RD.

LOCATED IN
 SECTION 11 & 12, TOWN 2, RANGE 6 M.R.s.
 CITY OF BEAVERCREEK, GREENE COUNTY, OHIO
 FEBRUARY, 2016

GENERAL NOTES (CONT.)

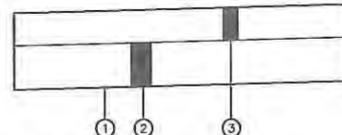
32. SITE CONTRACTOR SHALL INSTALL SPIDER DRAINS AT ALL NEW CATCH BASINS.
33. BUILDING PAD: UPON COMPLETING THE PAD FOR THE PROPOSED BUILDINGS THE CONTRACTOR SHALL SUBMIT VERIFICATION OF THE COMPACTION DENSITY OF THE CUT/FILL. THE BUILDING PAD SHALL BE CONSTRUCTED 10 FEET BEYOND THE PROPOSED BUILDING WALLS. THE CONTRACTOR SHALL COORDINATE THE STAKING OF THE PROPOSED BUILDING CORNERS WITH THE OWNER'S SURVEYOR.
34. ALL STORM PIPE SHALL BE ADS N-12 OR APPROVED EQUAL AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
35. REFER TO ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS FOR EARTHWORK AND COMPACTION REQUIREMENTS FOR ALL SLABS AND BUILDING FOUNDATIONS.
36. ALL ELEVATIONS IN PAVED AREAS ARE TOP OF CURB UNLESS OTHERWISE SHOWN OR NOTED.
37. THE CONTRACTOR SHALL RECORD THE LOCATION OF ALL SANITARY AND WATER SERVICES INSTALLED. THIS RECORD SHALL BE KEPT ON A SET OF PLANS SUPPLIED TO HIM SPECIFICALLY FOR THIS PURPOSE. THESE PLANS SHALL BE RETURNED TO THE ENGINEER WHEN ALL SERVICES HAVE BEEN INSTALLED.
38. ALL CATCH BASIN GRATES SHALL BE BIKE AND PEDESTRIAN SAFE.
39. THE SITE CONTRACTOR SHALL COORDINATE WITH THE BUILDING CONTRACTOR IN ORDER TO PLACE THE EXCESS EXCAVATED MATERIAL FROM THE SLAB AND FOOTINGS EXCAVATION IN AN APPROPRIATE LOCATION.
40. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE LOCATION AND QUANTITY OF TOPSOIL TO BE STOCKPILED.
41. THE SITE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH ODOT SPECIFICATION 616.
42. THE CONTRACTOR SHALL PROHIBIT THE TRACKING OF MUD OFF-SITE AND SHALL PROVIDE THE NECESSARY EQUIPMENT INCLUDING, BUT NOT LIMITED TO, WASH STATIONS AND GRAVEL CONSTRUCTION DRIVES. SHOULD MUD OR ANY OTHER MATERIAL BE TRACKED OFF-SITE THE CONTRACTOR SHALL CLEAN IT UP AT HIS COST.
43. ALL STRIPING SHALL BE DONE IN ACCORDANCE WITH ODOT 640 AND PAINT SHALL CONFORM TO ODOT 642.
44. THE CONTRACTOR SHALL FIELD MARK AND PLUG THE END OF ALL UTILITY SERVICES, CONDUIT AND MAIN LINE STUBS IN SUCH A MANNER AS TO MAKE THESE LOCATIONS QUICKLY LOCATED.
45. ODOT SPECIFICATIONS, JAN.1991, ARE HEREBY MADE A PART OF THESE PLANS AND BID DOCUMENTS.
46. CONTRACTOR SHALL SAVE SOME TREES AROUND BOUNDARY. THESE TREES TO BE COORDINATED WITH THE OWNER PRIOR TO START OF WORK. ALL OTHER TREES AND GROWTH TO BE REMOVED.
47. IT SHALL BE THE SITE CONTRACTOR'S RESPONSIBILITY TO IMPORT OR REMOVE ANY EXCESS EARTH OR TOPSOIL WITH PAYMENT FOR THIS TO BE A PART OF CONTRACT.
48. ANY PORTION OF THE SITE DISTURBED BY GRADING AND NOT FURTHER INCLUDED IN THE FIRST PHASE OF CONSTRUCTION SHALL BE PLANTED WITH APPROPRIATE GRASS COVERING AND PROPERLY MAINTAINED.
49. EXTERIOR CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF 6:00 A.M. TO 10:00 P.M. MONDAY THRU SATURDAY.



VICINITY MAP
NTS

INDEX

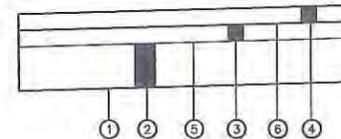
- 1..... COVER SHEET
- 2..... EXISTING TOPOGRAPHY PLAN
- 3..... SITE PLAN
- 4..... GRADING/UTILITY/EROSION CONTROL PLAN
- 5..... SITE LIGHTING PLAN
- 6..... LANDSCAPE PLAN
- 7..... DETAIL SHEET-1
- 8..... EROSION CONTROL NOTES



- ① ITEM 203 - SUBGRADE COMPACTION
- ② ITEM 304 - GRANULAR BASE ~ 6" COURSE
- ③ ITEM 452 - 6" PORTLAND CEMENT CONCRETE (4000 PSI)
- ④ ITEM 451 - 6" REINFORCED PORTLAND CEMENT CONCRETE (4000 PSI) (ITEM 451 SHALL BE USED IN THE DUMPSTER PAD AREA)

CONCRETE PAVEMENT SECTION

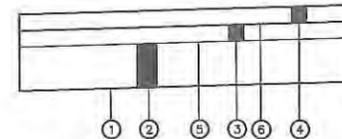
NTS
 (THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES AND THE CONTRACTOR SHALL CONFIRM THE PAVEMENT SECTIONS WITH DEVELOPER PRIOR TO BID AND CONSTRUCTION)



- ① ITEM 203 - SUBGRADE COMPACTION
- ② ITEM 304 - GRANULAR BASE ~ 8" COURSE
- ③ ITEM 448 - TYPE 2 ASPHALTIC CONCRETE ~ 2" COURSE INTERMEDIATE COURSE, PG 64-22
- ④ ITEM 448 - TYPE 1 ASPHALTIC CONCRETE ~ 1.5" COURSE SURFACE COURSE, PG 64-22
- ⑤ ITEM 408 - PRIME COAT @ 0.4 GAL/SY
- ⑥ ITEM 407 - TACK COAT @ 0.04 GAL/SY (STANDARD DUTY)

PARKING AND DRIVE PAVEMENT SECTION

NTS
 (THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES AND THE CONTRACTOR SHALL CONFIRM THE PAVEMENT SECTIONS WITH DEVELOPER PRIOR TO BID AND CONSTRUCTION)



- ① ITEM 203 - SUBGRADE COMPACTION
- ② ITEM 304 - GRANULAR BASE ~ 8" (2-4" COURSES)
- ③ ITEM 448 - TYPE 2 ASPHALTIC CONCRETE ~ 3.0" COURSE INTERMEDIATE COURSE, PG 64-22
- ④ ITEM 448 - TYPE 1 ASPHALTIC CONCRETE ~ 1.5" COURSE SURFACE COURSE, PG 64-22
- ⑤ ITEM 408 - PRIME COAT @ 0.4 GAL/SY
- ⑥ ITEM 407 - TACK COAT @ 0.04 GAL/SY

HEAVY DUTY PAVEMENT SECTION

NTS
 (THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES AND THE CONTRACTOR SHALL CONFIRM THE PAVEMENT SECTIONS WITH DEVELOPER PRIOR TO BID AND CONSTRUCTION)

NO.	DATE	DESCRIPTION	BY

2 WORKING DAYS
 BEFORE YOU DIG
 CALL TOLL FREE 800-362-2764
 ODOT UTILITIES PROTECTION SERVICE



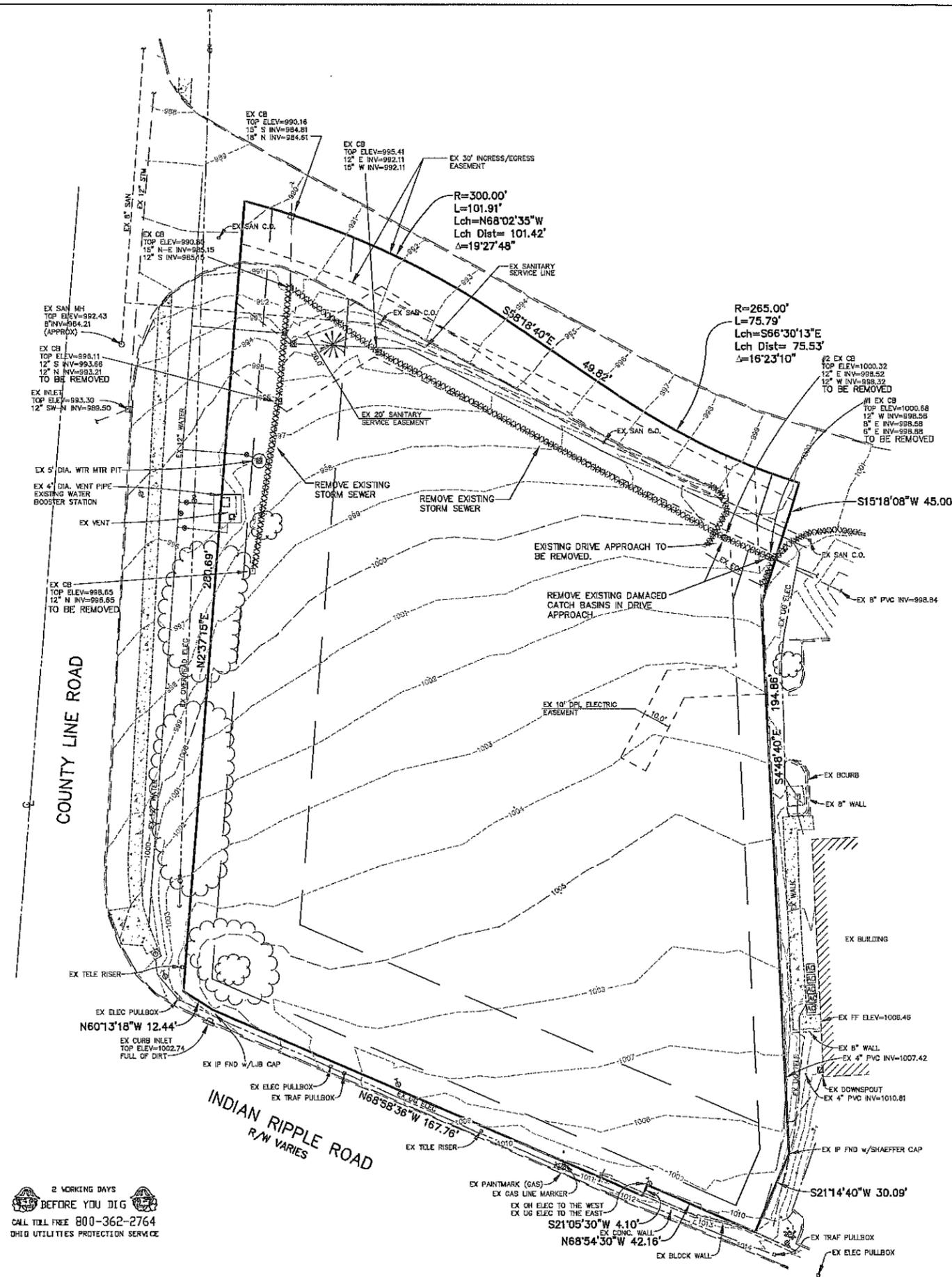
JEFFREY A. VAN ATTA
 OHIO PROFESSIONAL ENGINEER #53389

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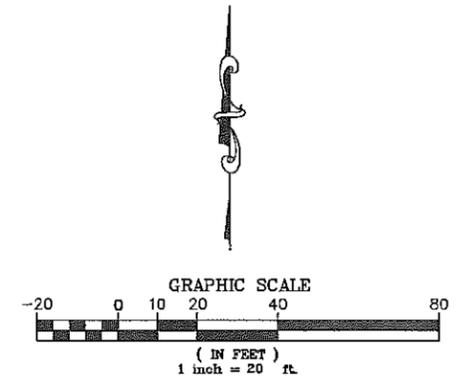
CITY OF BEAVERCREEK
 PLANNING DEPARTMENT

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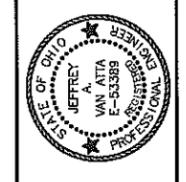
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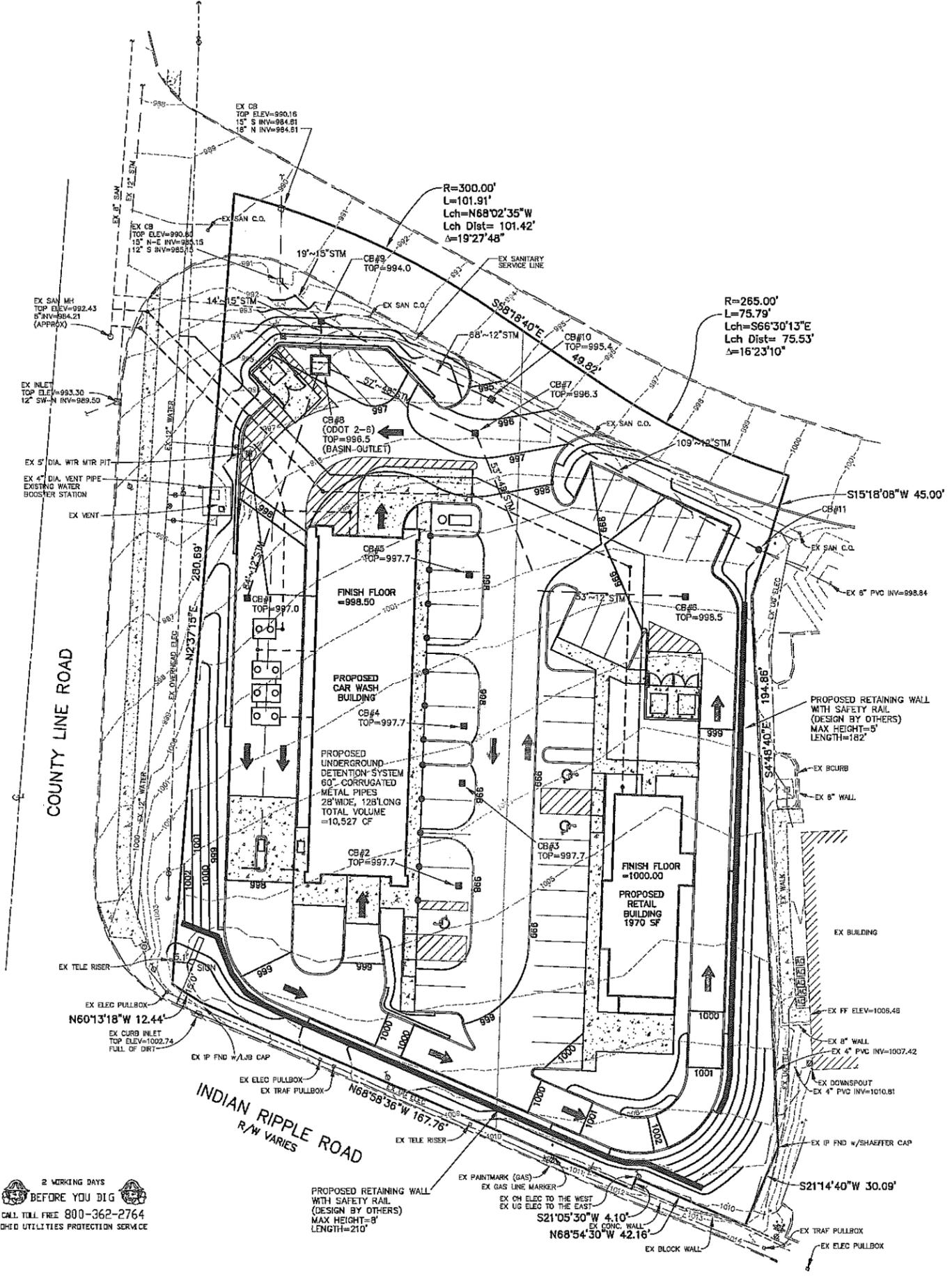
NO.	DATE	REVISION



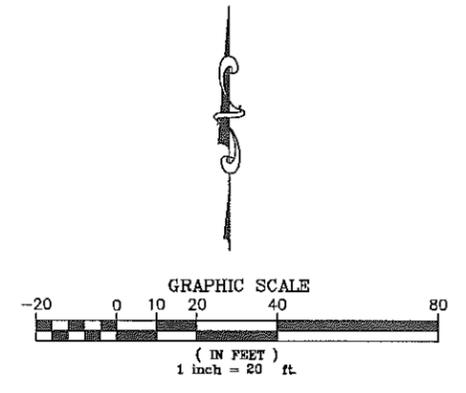
**EXISTING TOPOGRAPHY PLAN
 FLYING ACE CAR WASH
 INDIAN RIPPLE & COUNTY LINE RD.**
 LOCATED IN RANGE 6, N.R. 6
 SECTION 11 & 12, TOWN 2,
 CITY OF BEAVERCREEK, GREENE COUNTY, OHIO

DATE: FEB, 2016
 SCALE: 1"=20'
 PROJECT No. 5634
 FILE No.
 SHEET NO.
 2 of 8

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STORMWATER DETENTION SIZING:
 PRE-DEVELOPED CONDITIONS
 TRIBUTARY AREA=1.10 ACRES
 CN=74 (OPEN SPACE-GOOD COND.)
 TYPE C SOILS
 Tc=10 MIN.
 POST-DEVELOPED CONDITIONS
 TRIBUTARY AREA=1.10 ACRES
 CN=93
 Tc=5 MIN.
 CRITICAL YEAR STORM=25 YEAR
 ESTIMATED STORAGE REQD=0.162 AC-FT
 WATER QUALITY VOLUME
 WQv=CxPa/12
 WQv=0.8x0.75x(1.10/12)=0.055 AC-FT
 ESTIMATED TOTAL STORAGE=(0.162)+(0.055)=0.217 AC-FT
 9,453 CUBIC FEET
 VOLUME OF PROPOSED SYSTEM=10,500 CF



2 WORKING DAYS
BEFORE YOU DIG
 CALL TOLL FREE 800-362-2764
 OHIO UTILITIES PROTECTION SERVICE

PROPOSED RETAINING WALL
 WITH SAFETY RAIL
 (DESIGN BY OTHERS)
 MAX HEIGHT=8'
 LENGTH=210'

NO.	DATE	REVISION

VANATTA ENGINEERING INC.
 570 College Park Dr • Dayton, OH 45424
 Phone: 937.438.5850
 Fax: 937.438.5845

JEFFREY A. VANATTA
 E-53398
 PROFESSIONAL ENGINEER
 STATE OF OHIO

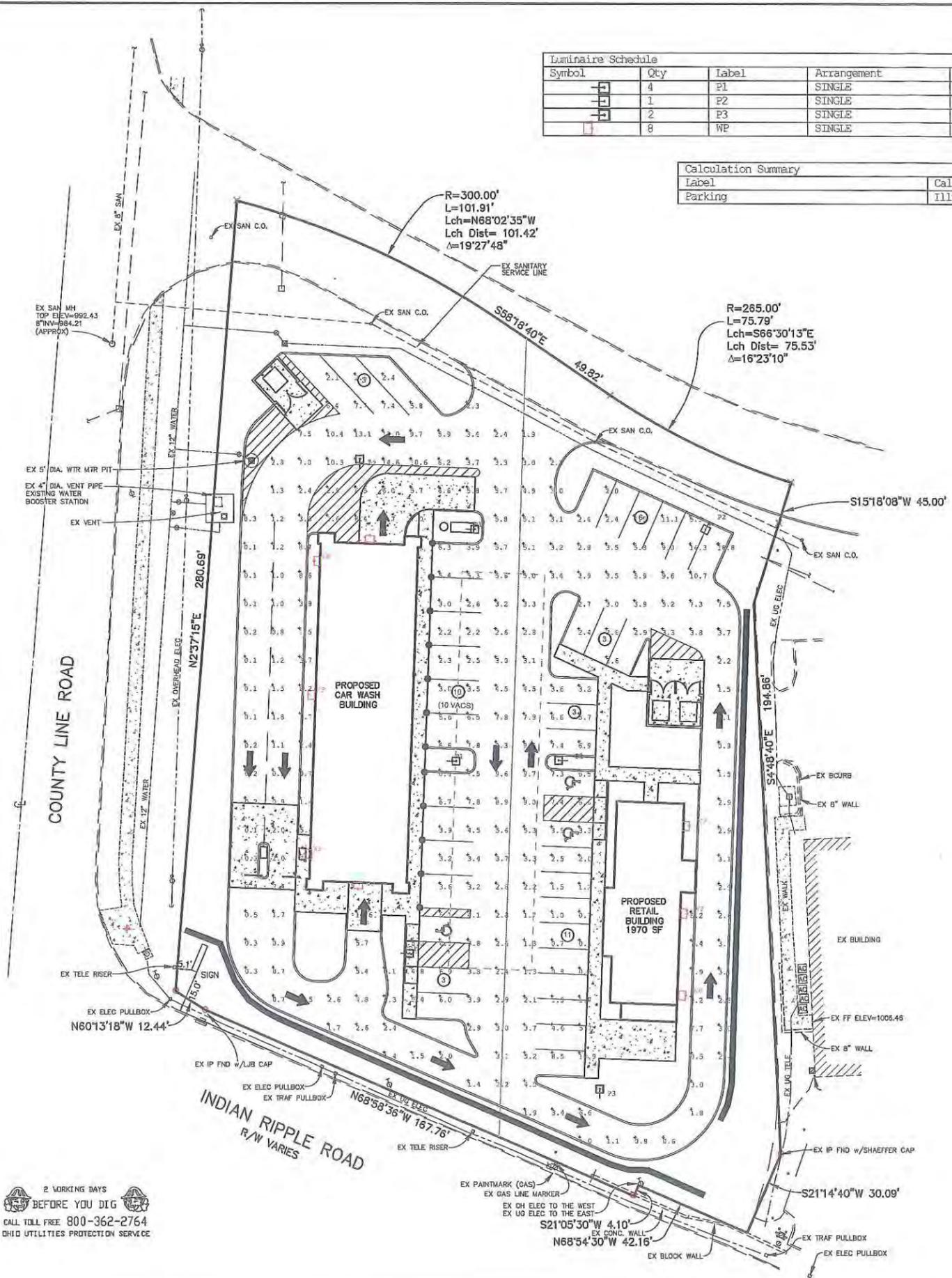
GRADING/EROSION CONTROL PLAN
FLYING ACE CAR WASH
INDIAN RIPPLE & COUNTY LINE RD.
 SECTION 11 & 12, TOWN 2, RANGE 6 N.R.8.
 CITY OF BEAVERCREEK, GREENE COUNTY, OHIO

DATE: **FEB, 2016**
 SCALE: **1"=20'**
 PROJECT No. **5634**
 FILE No. _____
 SHEET NO. _____

4 of 8

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Filename
	4	P1	SINGLE	N.A.	0.850	LSI XGM-5-LED-HO-CW at 20' AFG	XGM-5-LED-HO-CW.IES
	1	P2	SINGLE	N.A.	0.850	LSI XGM-FT-LED-HO-CW at 20' AFG	XGM-FT-LED-HO-CW.IES
	2	P3	SINGLE	N.A.	0.850	LSI XGM-3-LED-HO-CW at 20' AFG	XGM-3-LED-HO-CW.IES
	8	WP	SINGLE	N.A.	0.850	LSI XGM3-WT-LED-48-350-CW-UE at 11' AF	XGM3-WT-LED-48-350-CW-UE.ies

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking	Illuminance	Fc	4.21	18.8	0.1	42.10	188.00

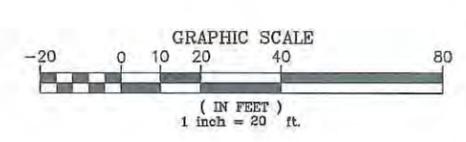


NO.	DATE	REVISION

PLAN PREPARED BY OTHERS

SITE LIGHTING PLAN FLYING ACE CAR WASH INDIAN RIPPLE & COUNTY LINE RD.

LOCATED IN
SECTION 11 & 12, TOWN 2, RANGE 6 M.R.G.
CITY OF BEAVERCREEK, GREENE COUNTY, OHIO

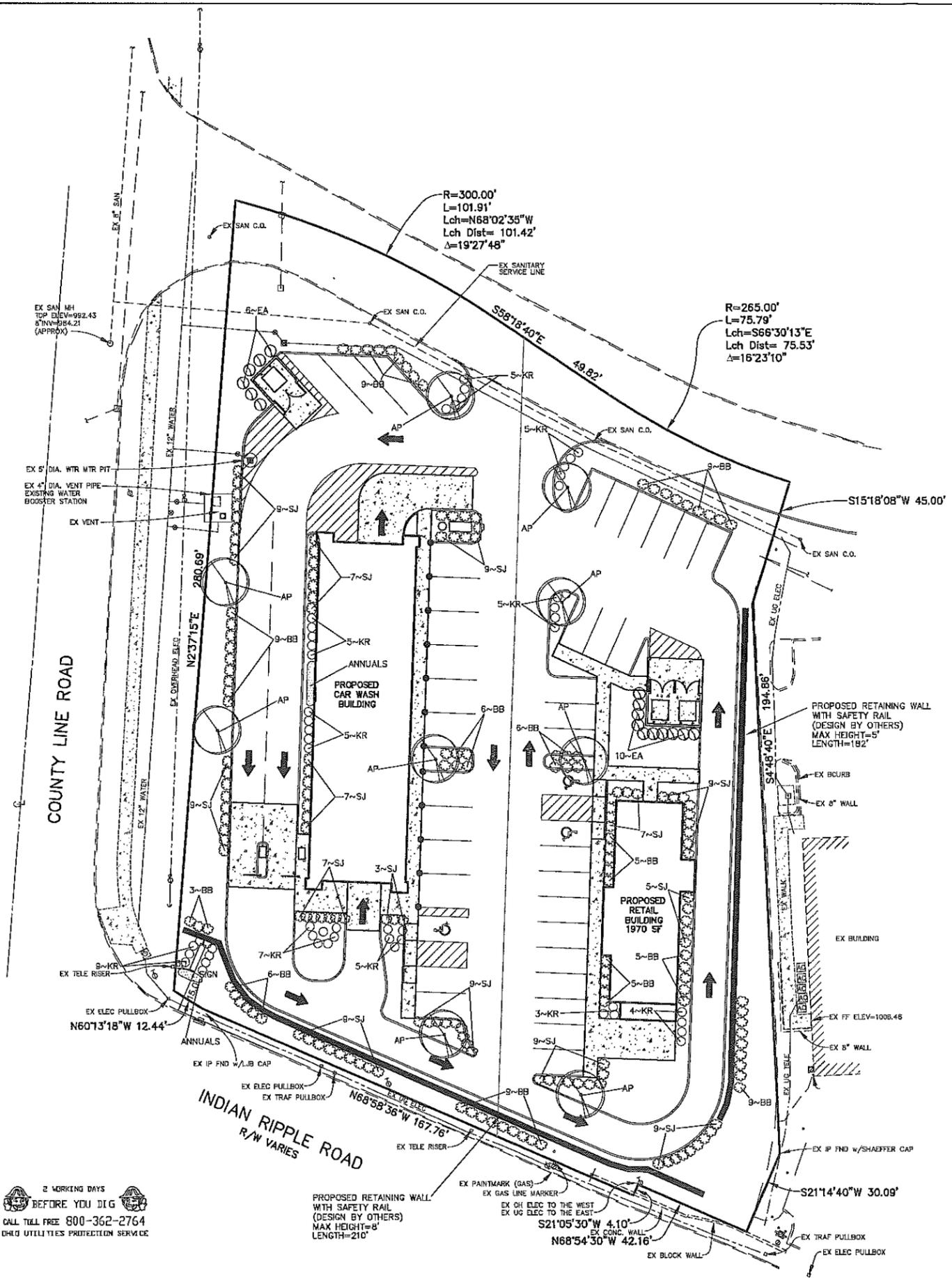


DATE: FEB., 2016
SCALE: 1"=20'
PROJECT No. 5634
FILE No.
SHEET No.

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CALL TOLL FREE: 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

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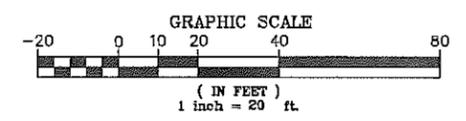
LANDSCAPE PLANTING LEGEND

SYMBOL	NO.	DESCRIPTION
EA	18	6'-7' EMERALD ARBORVITAE
SJ	108	#3 SEA GREEN JUNIPER
BB	81	24" #7 DWARF BURNING BUSH
KR	62	#3 KNOCK OUT SHRUB ROSE
AP	9	2.5' ARISTOCRAT PEAR

2 WORKING DAYS BEFORE YOU DIG
 CALL TOLL FREE 800-362-2764
 OHIO UTILITIES PROTECTION SERVICE

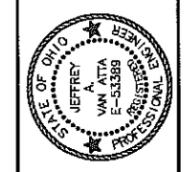
PROPOSED RETAINING WALL WITH SAFETY RAIL (DESIGN BY OTHERS) MAX HEIGHT=8' LENGTH=210'

S21°05'30"W 4.10'
 N68°54'30"W 42.16'



NO.	DATE	REVISION

VA
 VANATTA ENGINEERING INC
 570 Congress Park Dr - Dayton, OH 45459
 Phone: 937.438.5650
 Fax: 937.438.5645



LANDSCAPE PLAN
FLYING ACE CAR WASH
INDIAN RIPPLE & COUNTY LINE RD.
 LOCATED IN SECTION 11 & 12, TOWN 2, RANGE 6 N.R.6, CITY OF BEAVERCREEK, GREENE COUNTY, OHIO

DATE: FEB, 2016
 SCALE: 1"=20'
 PROJECT No. 5634
 FILE No.
 SHEET NO.

STORM WATER POLLUTION PREVENTION PLAN NOTES

- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO SWPPP AND DETAIL PLANS; ACCORDING TO THE LATEST OHIO EPA AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES); ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS. SEE OHIO EPA PERMIT NO. OH000004 FOR SWPPP RULES AND REGULATIONS. ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT. EVERY EFFORT SHALL BE MADE TO PRESERVE THE NATURAL RIPARIAN SETBACK ADJACENT TO STREAMS OR OTHER SURFACE WATER BODIES.
- SEDIMENT STRUCTURE AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS RESTABILIZED. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.
- TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE REMAINING DORMANT FOR OVER FOURTEEN (14) DAYS.
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN FOURTEEN (14) DAYS PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER.
- PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE MULCHING, MATTING, SOD, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.
WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
- TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:
SEEDING: ANNUAL RYEGRASS AT 2.02 #/1,000 S.F.
MULCHING: STRAW MATERIAL SHALL BE UNDRITTED SMALL GRAIN STRAW APPLIED AT A RATE OF TWO (2) TON/ACRE, OR 50-100 POUNDS PER 1,000 S.F. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITIVE NOXIOUS WEEDS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICAL MEANS. FROM NOVEMBER 01 THRU MARCH 15 INCREASE THE RATE OF STRAW MULCH TO THREE (3) TON/ACRE.
FERTILIZER: APPLY FERTILIZER AT HALF THE RATE OF PERMANENT APPLICATION AND AS PER STATE DOT SPECIFICATIONS. IF PROJECT CONDITIONS PREVENT FERTILIZING THE SOIL, THEN THIS ITEM MAY BE WAIVED.
- PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH ODOT STANDARD SPECIFICATIONS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEEDED, AND CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY, NORTH AMERICAN GREEN, INC. OR AN APPROVED EQUAL AS SPECIFIED IN THE PLANS SHALL BE INSTALLED ON THE SLOPES.
- OHIO EPA SWPPP REGULATIONS REQUIRES THAT A SEDIMENT TRAP OR POND BE SIZED TO PROVIDE AT LEAST 104 CUBIC YARDS (67 CY FOR DOWNSLOPES AND 37 CY FOR SEDIMENT STORAGE) OF STORAGE PER ACRE OF TOTAL CONTRIBUTING AREA. MAXIMUM DEPTH OF SEDIMENT SETTLING POND SHALL BE EQUAL OR LESS THAN 5-FEET WITH A LENGTH TO WIDTH RATIO GREATER THAN OR EQUAL TO 2:1)
- OUTLET STRUCTURES IN SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT MUST BE REMOVED FROM BASINS AND OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 40% (APPROXIMATELY ONE-HALF OF POND DEPTH).
- NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF.
- ALL TOXIC WASTES, HAZARDOUS WASTES AND NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR DIKED AREAS, WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OFF-SITE WHEN THEY HARDEN. STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIKED AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE. NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED INTO STORM DRAINS, SEPTIC TANKS OR BY BURYING, BURNING OR MIXING THE WASTES.
- CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
- CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.
- ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN AN OHIO EPA APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE 3745-20).
- AREA SHALL BE DESIGNATED FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE. THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- A SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.
- ALL DESIGNATED CONCRETE CHUTE OR WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS OR OTHER STORMWATER DRAINAGE AREAS.
- THERE IS A POTENTIAL FOR HIGH GROUND WATER AT THIS SITE. CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND IMPLEMENTING A PLAN TO CONTROL BOTH SURFACE AND GROUND WATER DURING THE COURSE OF CONSTRUCTION.
- DISCHARGE OF WATER WITH POTENTIAL SEDIMENT FROM THE SITE SHALL BE THROUGH A FILTER BAG, SUMP PIT OR OTHER SEDIMENT REMOVAL DEVICE.
- ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).
- IF THE SITE CONTAINS CONTAMINATED SOIL, THE FOLLOWING SHALL BE USED TO PREVENT CONTAMINATION FROM BEING RELEASED:
1. BERMS, TRENCHES AND PITS TO COLLECT CONTAMINATED RUNOFF AND PREVENT DISCHARGES.
2. PUMPING RUNOFF INTO A SANITARY SEWER (WITH PRIOR APPROVAL OF THE SANITARY SYSTEM OPERATOR) OR INTO A CONTAINER FOR TRANSPORT TO AN APPROPRIATE TREATMENT/DISPOSAL FACILITY.
3. COVERING AREAS OF CONTAMINATION WITH TARPS OR OTHER METHODS THAT PREVENT STORM WATER FROM COMING INTO CONTACT WITH THE MATERIAL.

STORM WATER POLLUTION PREVENTION PLAN NOTES (CONT.)

- IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION WILL BE UNDERTAKEN BY THE GENERAL CONTRACTOR TO CONTAIN AND REMOVE THE SPILLED MATERIAL. ALL HAZARDOUS MATERIALS, INCLUDING CONTAMINATED SOIL AND LIQUID CONCRETE WASTE, WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY FEDERAL, STATE AND LOCAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. AS SOON AS POSSIBLE, THE SPILL WILL BE REPORTED TO THE APPROPRIATE AGENCIES. AS REQUIRED UNDER THE PROVISIONS OF THE CLEAN WATER ACT, ANY SPILL OR DISCHARGE ENTERING WATERS OF THE UNITED STATES WILL BE PROPERLY REPORTED. THE GENERAL CONTRACTOR WILL PREPARE A WRITTEN RECORD OF ANY SPILL AND ASSOCIATED CLEAN-UP ACTIVITIES OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF 1 GALLON OR REPORTABLE QUANTITIES, WHICH EVER IS LESS.
- THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800.282.9378, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.
- OPEN BURNING IS NOT PERMITTED ON THE SITE.
- DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. DUST SUPPRESSANTS SHALL NOT BE APPLIED NEAR CATCH BASINS FOR STORM SEWERS OR OTHER DRAINAGE WAYS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
- APPROPRIATE MEASURES MUST BE TAKEN TO ENSURE THAT ALL PROPER AIR POLLUTION PERMITS ARE OBTAINED.
- PROCESS WASTEWATERS (EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL AND CONCRETE WASH-OUTS) SHALL BE COLLECTED AND DISPOSED OF PROPERLY.
- SANITARY AND WATER PFI FORMS SHALL BE FILED WITH THE OHIO EPA AS REQUIRED.
- PROTECTED STORAGE AREAS SHALL BE USED FOR INDUSTRIAL AND CONSTRUCTION MATERIALS IN ORDER TO MINIMIZE THE EXPOSURE OF SUCH MATERIALS TO STORMWATER.
- ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:
INSPECTIONS OF BMPs SHALL BE PERFORMED BY QUALIFIED PERSONS PROVIDED BY THE PERMITTEE AND THE INSPECTION LOGS ARE TO BECOME A PART OF THIS PLAN. INSPECTIONS RECORDS SHALL BE SIGNED BY THE INSPECTOR AND WILL BE KEPT FOR 3 YEARS AFTER THE NOTICE OF TERMINATION IS SUBMITTED.
- INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE IN EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR PERIOD, FROM THE BEGINNING OF CONSTRUCTION THROUGH THE FINAL INSPECTION PRIOR TO THE NOTICE OF TERMINATION.
- NON-SEDIMENT POND BMPs TO BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT POND BMPs WITHIN 10 DAYS OF INSPECTION. BMPs NOT MEETING THE INTENDED FUNCTION SHALL BE REPLACED WITHIN 10 DAYS OF INSPECTION. MISSING BMPs SHALL BE INSTALLED WITHIN 10 DAYS OF INSPECTION.
- IF THE SITE IS STABILIZED AND WILL BE DORMANT FOR A LONG PERIOD OF TIME, LESS FREQUENT INSPECTIONS MAY BE REQUESTED OF THE OEPA VIA A WAIVER REQUEST.
- INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DETERIORATION.
- ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- SILT FENCES, INLET PROTECTION, SILT DIKES AND PERVIOUS LOGS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT ACCUMULATION MUST BE REMOVED WHEN SEDIMENT HEIGHT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE, INLET PROTECTION, SILT DIKE AND PERVIOUS LOG.
- MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED AND IN GOOD WORKING ORDER AT ALL TIMES; THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION ENTRANCE DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, INCLUDING DETENTION PONDS, AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
- ALL RIP RAP MUST BE PLACED OVER GEOTEXTILE FILTER.
- STONE CONSTRUCTION ENTRANCE TO BE MAINTAINED BY CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.
- ALL CATCH BASIN GRATES ARE TO BE PROTECTED WITH INLET BAGS AFTER THEY ARE INSTALLED. THEY SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
- ROCK CHECK DAMS SHOULD BE ROUTINELY CLEANED ONCE SEDIMENT BEGINS TO APPEAR ON THE UPSTREAM SIDE OF THE ROCK.
- ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- CONTRACTOR TO DELINEATE STOCK PILE LOCATION ON PLANS TO BE KEPT ON SITE DURING CONSTRUCTION.
- CONSTRUCT STOCKPILES IN ACCESSIBLE LOCATIONS THAT DO NOT INTERFERE WITH NATURAL DRAINAGE. INSTALL APPROPRIATE SEDIMENT CONTROLS TO TRAP SEDIMENT SUCH AS SILT FENCE IMMEDIATELY ADJACENT TO THE STOCKPILE OR SEDIMENT TRAPS OR BASINS DOWNSTREAM OF STOCKPILE. STOCKPILE SIDE SLOPES SHALL NOT EXCEED A RATIO OF 2:1.
- IF STOCKPILE IS STORED FOR MORE THAN 14 DAYS, IT SHOULD BE TEMPORARY SEEDED, OR COVERED WITH A TARP.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY; THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.
- THE LAST LAYER OF SOIL, INCLUDING TOP SOIL, SHOULD BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY, IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION. THIS IS PARTICULARLY IMPORTANT IN CUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY; THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.
- THE POST CONSTRUCTION REQUIREMENTS OF OHIO EPA PERMIT OH000004 SHALL BE MET BY THE WATER QUALITY BASIN.

STRUCTURAL BMP LONG-TERM MAINTENANCE (GENERAL NOTES)

- THE OWNER AGREES TO MAINTAIN IN PERPETUITY THE STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH APPROVED MAINTENANCE PLANS LISTED IN #2 BELOW AND IN A MANNER THAT WILL PERMIT THE STORM WATER MANAGEMENT PRACTICES TO PERFORM THE PURPOSES FOR WHICH THEY WERE DESIGNED AND CONSTRUCTED. THIS INCLUDES ALL PIPES, STRUCTURES, IMPROVEMENTS, AND VEGETATION PROVIDED TO CONTROL THE QUANTITY OF THE STORM WATER.
- NO ALTERATIONS TO THE WATER QUALITY/RETENTION BASINS WITHOUT APPROVAL FROM THE JURISDICTIONAL REVIEWING AUTHORITY.
- THE OWNER SHALL PROVIDE A MAINTENANCE PLAN FOR EACH STORM WATER MANAGEMENT PRACTICE. THE MAINTENANCE PLANS SHALL INCLUDE A SCHEDULE FOR MONTHLY AND ANNUAL MAINTENANCE. THE OWNER SHALL MAINTAIN, UPDATE AND STORE THE MAINTENANCE RECORDS FOR THE STORM WATER MANAGEMENT PRACTICES. THE SPECIFIC MAINTENANCE PLANS FOR EACH STORM WATER MANAGEMENT PRACTICE ARE AS FOLLOWS.

MAINTENANCE TO BE COMPLETED EVERY 3 MONTHS

- REMOVE TRASH AND/OR ACCUMULATED SEDIMENT FROM POND AREA.
- REMOVE OBSTRUCTIONS IN ORIFICES AND/OR OUTLETS WITHIN POND.
- REMOVE DEBRIS AND SEDIMENT FROM INLET PIPES, OUTLET PIPES AND STRUCTURES.

MAINTENANCE TO BE COMPLETED YEARLY

- REPAIR EROSION TO OUTFALL OR SPILLWAY OF THE POND
- REPAIR AND/OR REPLACE DAMAGED STRUCTURES, SUCH AS CATCH BASINS, RISERS, PIPES AND HEADWALLS.
- MOW EMBANKMENTS AND REMOVE WOODY VEGETATION ON EMBANKMENTS

YEARLY REPORT REQUIREMENTS

SKETCH SHOWING GENERAL AREA OF BMP'S, SUMMARY OF ALL MAINTENANCE ACTIVITIES SINCE LAST ANNUAL INSPECTION, PHOTOS AND DESCRIPTION OF ALL BMP DESIGN FEATURES, INDICATION OF ANY DEVIATION FROM APPROVED PLAN FOR BMP, IDENTIFICATION OF IMPROVEMENTS NECESSARY TO RESTORE ORIGINAL DESIGN FUNCTION, MAINTENANCE ACTIVITIES REQUIRED IN THE NEXT 6 MONTHS, IDENTIFICATION AND CONTACT INFORMATION OF ENTITY RESPONSIBLE FOR BMP, AND IDENTIFICATION AND CONTACT INFORMATION FOR ENGINEER PREPARING THE REPORT INCLUDING SIGNATURE AND SEAL.

SEQUENCE OF CONSTRUCTION

- CONDUCT PRE-CONSTRUCTION MEETING
- INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING CONSTRUCTION ENTRANCE, SEDIMENT TRAPS, ROCK CHECK DAMS, INLET PROTECTION & SILT FENCE.
- CONSTRUCT TEMPORARY PARKING AND STORAGE AREA.
- PERFORM CLEARING AND GRUBBING AS NECESSARY.
- BEGIN GRADING THE SITE, MAKING SURE THAT EROSION CONTROL MEASURES ARE IN PLACE AND WORKING PROPERLY THROUGHOUT GRADING OPERATIONS.
- APPLY TEMPORARY SOIL STABILIZATION WITHIN (7) DAYS OF EXCAVATION.
- BEGIN CONSTRUCTION OF ALL UTILITIES INCLUDING STORM SEWER. INSTALL INLET PROTECTION CONCURRENT WITH CONSTRUCTION OF PROPOSED STORM STRUCTURES.
- BEGIN CONSTRUCTION OF BUILDING PADS AND STRUCTURES.
- BEGIN CONSTRUCTION OF STREETS. INSTALL CURB AND GUTTER. PREPARE FOR PAVING.
- PERMANENTLY SEED AND MULCH & LANDSCAPE REMAINDER OF PEROVIOUS AREAS. PERMANENT SEEDING SHALL BE INSTALLED WITHIN (7) DAYS OF COMPLETION OF FINAL GRADING IN UNPAVED AREAS.
- PAVE SITE.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SITE ACHIEVES "FINAL STABILIZATION"

NO.	DATE	REVISION



JEFFREY A. VAN ATTA
E-53389
PROFESSIONAL ENGINEER

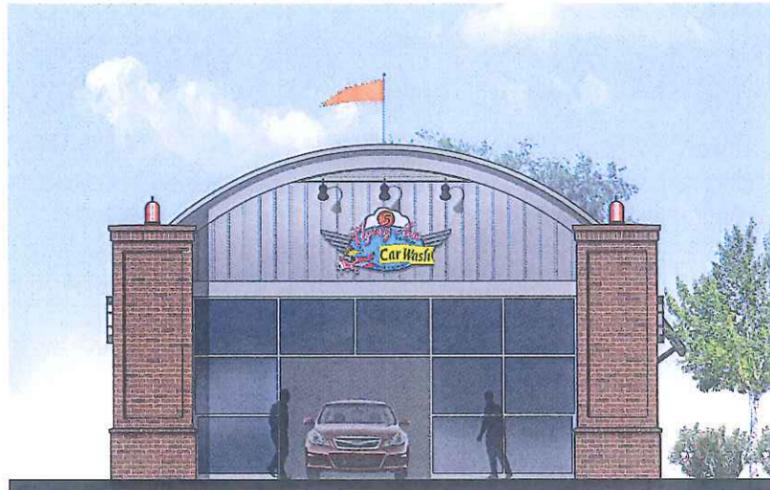


VANATTA ENGINEERING
570 Congress Park Dr • Dayton, OH 45459
Phone: 937.436.5580
Fax: 937.436.5545

EROSION CONTROL NOTES
FLYING ACE CAR WASH
INDIAN RIPPLE & COUNTY LINE RD.
 LOCATED IN SECTION 11 & 12, TOWN 2, RANGE 6 N.R. 6
 CITY OF BEAVERCREEK, GREENE COUNTY, OHIO

DATE: FEB., 2016
 SCALE: 1"=20'
 PROJECT No. 5634
 FILE No. _____
 SHEET NO. _____

R:\CADD\Projects\Flying Ace Beaver Creek TORO.DWG, FEB 11, 2016 - 10:12:42



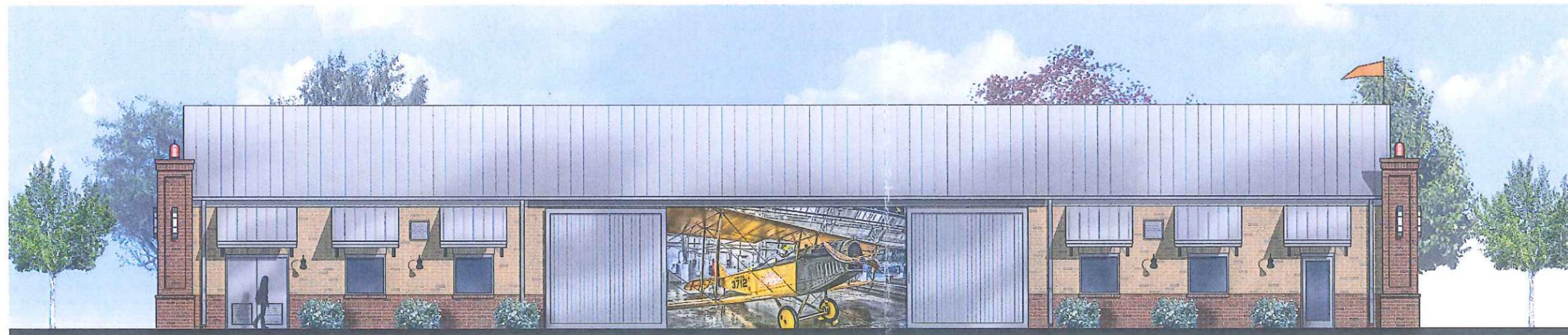
Exit Elevation
Scale: 3/16" = 1'-0"



Entrance Elevation
Scale: 3/16" = 1'-0"



Side Elevation
Scale: 3/16" = 1'-0"



Side Elevation
Scale: 3/16" = 1'-0"

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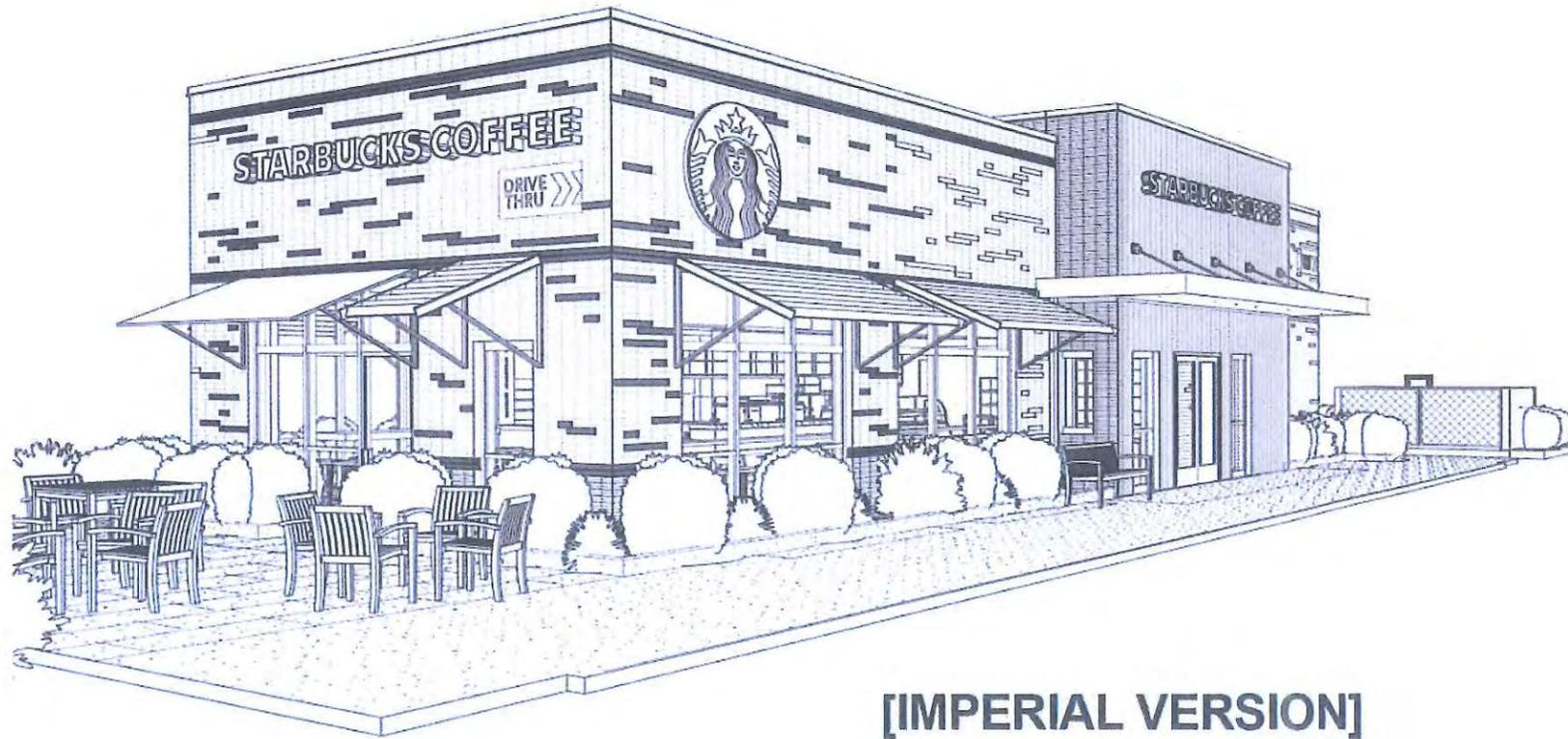
FEB 17 2016

CITY OF BEAVERCREEK
PLANNING DEPARTMENT

FLYING ACE EXPRESS CAR WASH



Starbucks Coffee
Company
2401 Utah Avenue South
Seattle, Washington 98134
(206) 318-1575



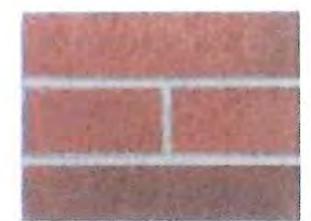
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FEB 08 2016

CITY OF BEAVERCREEK
PLANNING DEPARTMENT



Autumn Blend



Heritage Blend



Starbucks Coffee Company
 2401 Utah Avenue South
 Seattle, Washington 98134
 (206) 318-1575

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Architect of Record
 This drawing is a Design Development Document. Site specific modifications made under the responsible charge of the Architect and/or Engineer-of-Record will be required prior to using this document for Bidding, Permitting, or Construction.

Rev	Date	By	Description

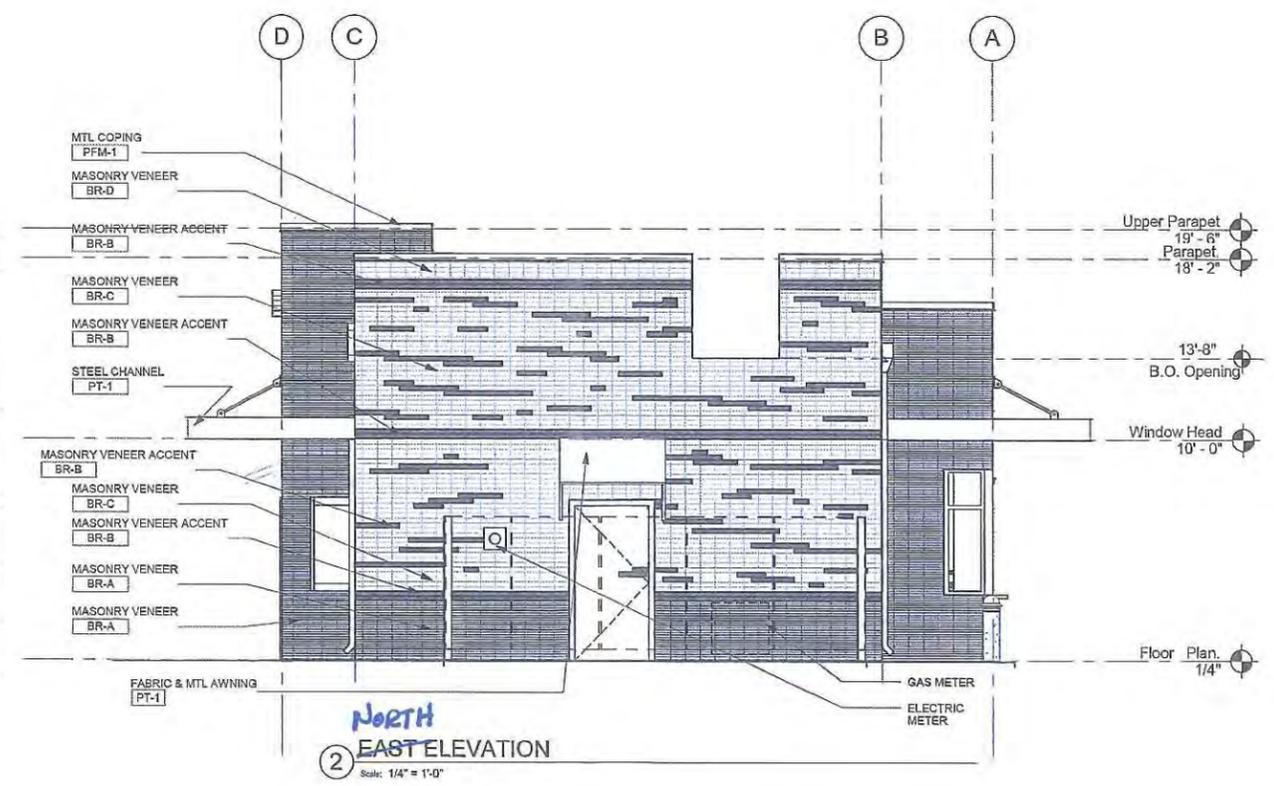
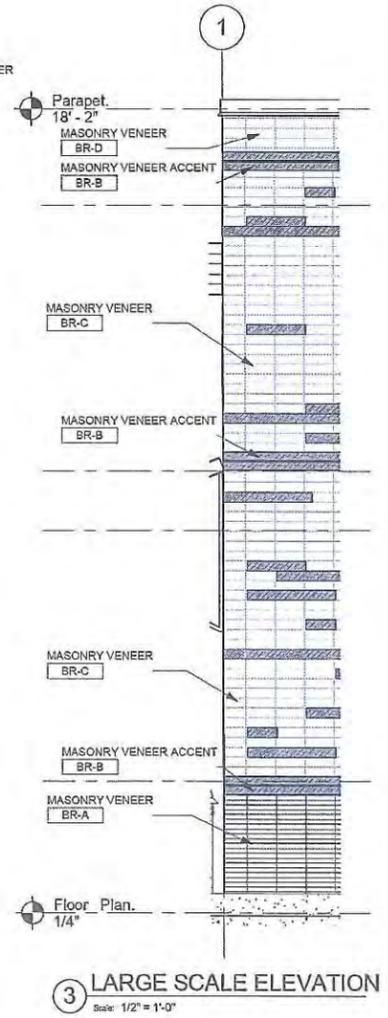
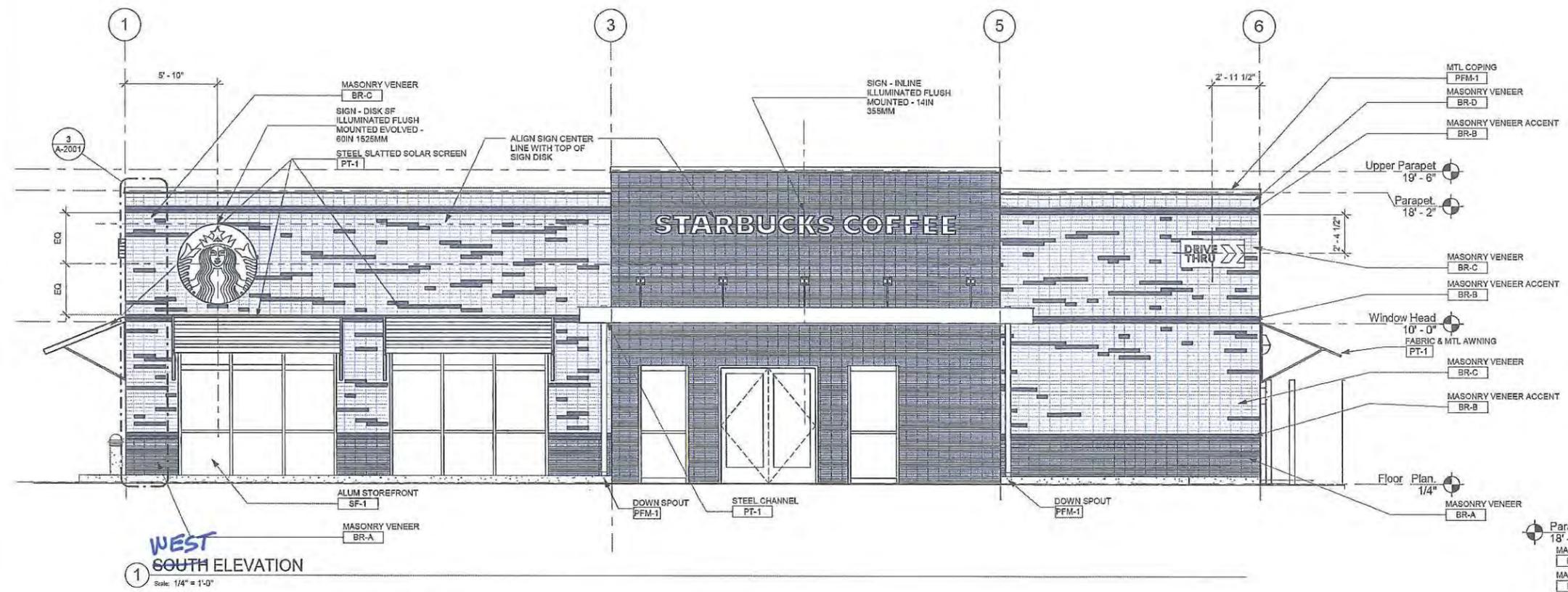
Project Name:
**DESIGN DEVELOPMENT
 SINGLE TENANT BUILDING
 PROTOTYPE SET V3.1**

Store #:
 Project #:
 Concept:
 Palette:
 Issue Date:
 Design Manager:
 LEED® AP:
 Production Designer:
 Checked by:

Sheet Title:
**EXTERIOR
 ELEVATIONS**
 Scale: As Indicated

Sheet Number:
A-2001

Design Development Only - Not Intended for Construction



MATERIAL LEGEND (EXAMPLE SPEC.)			
MASONRY:	MANF.	COLOR:	DESCRIPTION:
BR-A	MUTURAL MATERIALS	DARK 'EBONY MISSION'	BOTTOM BAND
BR-B	MUTURAL MATERIALS	MEDIUM 'REDONDO GRAY' - SMOOTH	INTERMEDIATE COURSES
BR-C	MUTURAL MATERIALS	80/20 BLEND 'PEWTER MISSION' & 'REDONDO GRAY'	MAIN FIELD
BR-D	MUTURAL MATERIALS	LIGHT 'PEWTER MISSION'	TOP BAND
PAINT:	MANF.	COLOR:	DESCRIPTION:
MTL-1	TBD	TO MATCH PFM-1	AWNINGS
PT-1	TBD	BLACK GALV. METAL PAINTED	
METAL:	MANF.	COLOR:	DESCRIPTION:
PFM-1	TBD	DARK GRAY	PREFINISHED FOR METAL COPING
STOREFRONT:	MANF.	COLOR:	DESCRIPTION:
SF-1	TBD	BLACK OR DARK BRONZE	STOREFRONT FRAMING
MATERIAL NOTES:			
1. LOCAL AVAILABILITY & REQUIREMENTS GOVERN MATERIAL SELECTION.			
2. GOUT COLOR TO MATCH DARKEST BRICK OF SECTION.			

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Starbucks Coffee Company
2401 Utah Avenue South
Seattle, Washington 98134
(206) 318-1575

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Architect of Record

This drawing is a Design Development Document. Site specific modifications made under the responsible charge of the Architect and/or Engineer-of-Record will be required prior to using this document for Bidding, Permitting, or Construction.

Revision Schedule			
Rev	Date	By	Description

Project Name:
**DESIGN DEVELOPMENT
SINGLE TENANT BUILDING
PROTOTYPE SET V3.1**

Store #:
Project #:
Concept:
Palette:
Issue Date:
Design Manager:
LEED® AP:
Production Designer:
Checked by:

Sheet Title:
EXTERIOR ELEVATIONS
Scale: 1/4" = 1'-0" STB V3.1

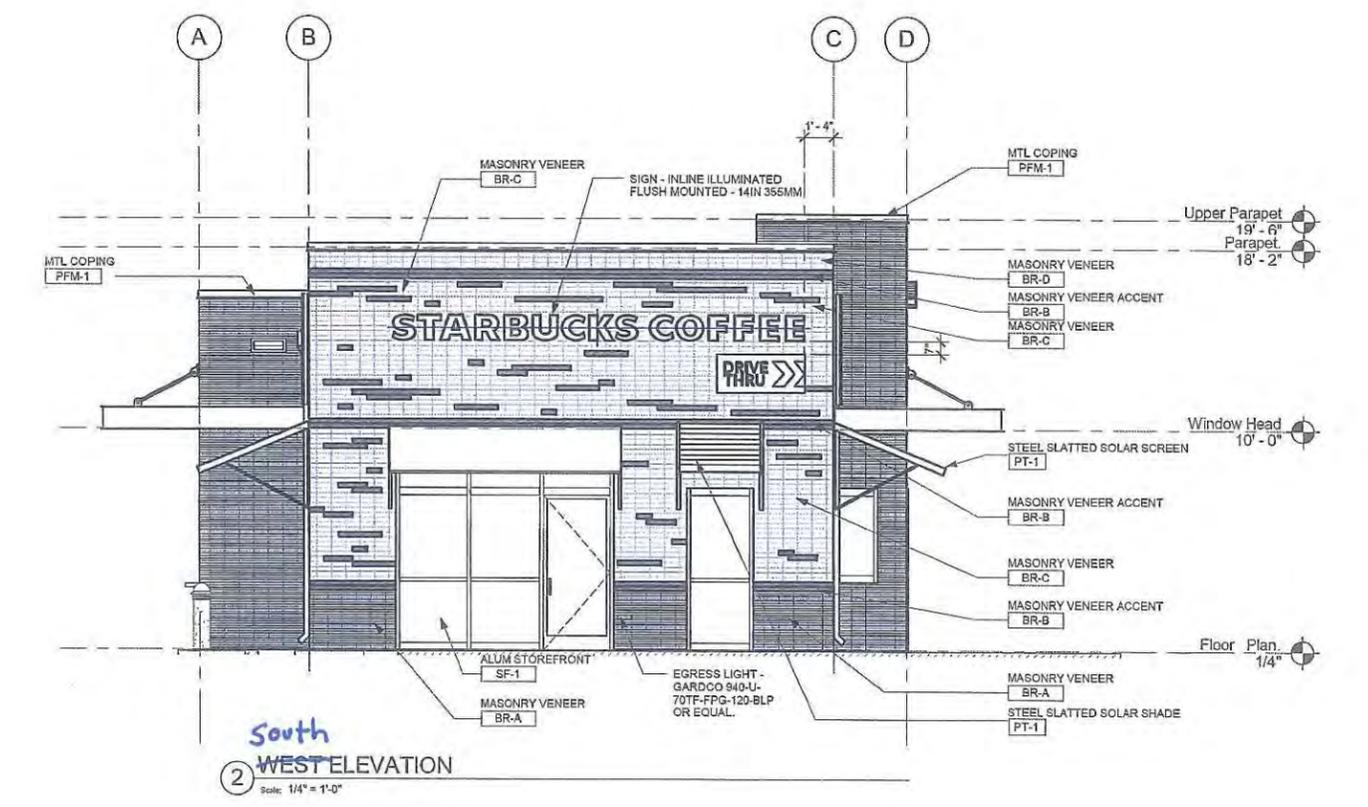
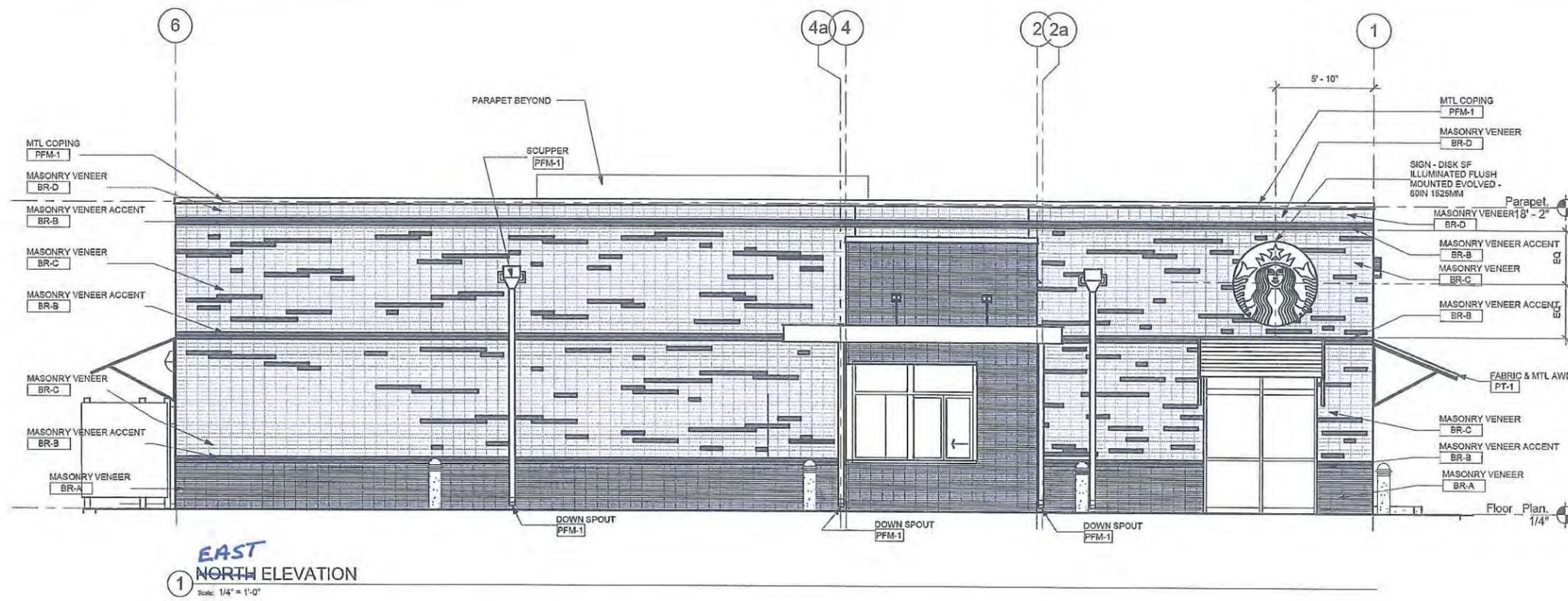
Sheet Number:
A-2002

EXTERIOR ELEVATION NOTES

- A. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. STARBUCKS CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- B. GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS, AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- C. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT SIGNAGE.
- D. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE WITH LANDLORD AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO STARBUCKS DESIGNER FOR APPROVAL.
- E. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT AND LANDLORD APPROVAL.
- F. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO STARBUCKS CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH STARBUCKS ARCHITECTURAL DRAWINGS.
- G. GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.
- H. SEE SCHEDULE SHEETS FOR SCHEDULES

SHEET NOTES

- 1. PROVIDE 3" (75MM) HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING FACING STREET.



MATERIAL LEGEND (EXAMPLE SPEC.)			
MASONRY:	MANF.	COLOR:	DESCRIPTION:
BR-A	MUTURAL MATERIALS	DARK - 'EBONY MISSION'	BOTTOM BAND
BR-B	MUTURAL MATERIALS	MEDIUM - 'REDONDO GRAY' - SMOOTH	INTERMEDIATE COURSES
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BR-D	MUTURAL MATERIALS	LIGHT - 'PEWTER MISSION'	TOP BAND
PAINT:	MANF.	COLOR:	DESCRIPTION:
MTL-1	TBD	TO MATCH PFM-1	AWNINGS
PT-1	TBD	BLACK GALV. METAL PAINTED	
METAL:	MANF.	COLOR:	DESCRIPTION:
PFM-1	TBD	DARK GRAY	PREFINISHED FOR METAL COPING
STOREFRONT:	MANF.	COLOR:	DESCRIPTION:
SF-1	TBD	BLACK OR DARK BRONZE	STOREFRONT FRAMING

MATERIAL NOTES:
1. LOCAL AVAILABILITY & REQUIREMENTS GOVERN MATERIAL SELECTION.
2. GOUT COLOR TO MATCH DARKEST BRICK OF SECTION.

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Design Development Only - Not Intended for Construction

February 26, 2016

**STAFF REPORT
FINAL SUBDIVISION REQUEST
VILLAGE AT STONE FALLS II
CASE NO. S 16-3**

APPLICANT: Oberer Companies
3475 Newmark Drive
Miamisburg OH 43231

**ENGINEER/
SURVEYOR:** Choice One Engineering
440 E. Hoewisher Rd.
Sidney, OH 45365

I. NATURE OF REQUEST

The applicant is requesting approval of a final subdivision for approximately 13.4 acres to accommodate the previously approved Village at Stone Falls II.

II. DISCUSSION

As shown in the aerial photo to the right, the property is currently 13.319 acres and is a single parcel split by Lakeview Drive. This proposal would incorporate 1.538 acres of the Shoppes at Fairfield subdivision to the west (the greenspace behind Hobby Lobby) into the future Lot 1. Lot 2 would be the 1.779 acres to the south of Lakeview Drive. Additional right-of-way, not shown on the attached plans, will need to be dedicated along the eastern portion of Lot 2 in order to accommodate the construction of the Lillian Lane extension.



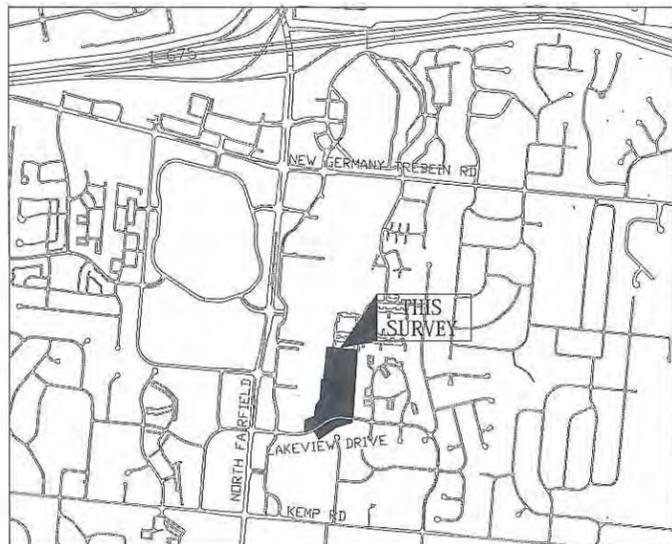
The applicant will be required to pay impact fees and park fees prior to the release of any permits for this subdivision.

Comments were received from the various area agencies, utilities, and city departments commonly included in reviewing proposed plans during the record plan review process. The applicant has received approval or conditional approval from all entities that submitted comments. Those comments will need to be addressed prior to the release of the record plan.

III. RECOMMENDATION

Staff recommends approval of this final subdivision request subject to the following conditions, which must be addressed prior to release of the record plan:

1. The approved record plan shall be the plan stamped "Received February 26, 2016", except as modified below.
2. All concerns and comments of the Planning and Zoning Department, City Engineer, Greene County Sanitary Engineering Department, Greene County Auditor, public utility providers, and the Beavercreek Township Fire Department shall be addressed and satisfied prior to release of the record plan for recording.
3. Prior to release of the record plan for recording, the applicant shall provide a digital format file of the subdivision in Autocad or .dxf format.
4. Park Fees and Impact Fees shall be paid prior to the release of any zoning permits.



VICINITY MAP

**THE VILLAGE AT STONE FALLS II
RECORD PLAN**

34 SECTION 3 TOWNSHIP 7 M.Rs. RANGE BEAVERCREEK CITY GREENE, OHIO COUNTY

PLAT AUTHORIZATION

Michael D. Lofino Trustee, the owner of the land included within this plat have caused the area located in the City of Beavercreek, Ohio, encompassed by this plat, to be surveyed, platted, and known as The Village at Stone Falls II.

Being 13.409 acres out of a tract conveyed to Michael D. Lofino Trustee in Volume 473, Page 483, and 1.539 acres out of a tract conveyed to Barbara Gigante Successor Trustee in Volume 3626, Page 815 of the Greene County Recorder's, Ohio.

Michael D. Lofino Trustee
By: Michael D. Lofino., Trustee

Michael D. Lofino, Trustee
State of Ohio
County of _____

The forgoing instrument was acknowledged before me this ____ day of _____, 20____, by Michael D. Lofino, on behalf of Michael D. Lofino Trustee.

Notary Public

My commission expires

GREENE COUNTY RECORDER
FILE NO. _____ PLAT CABINET VOL. _____, PAGES _____
FEE _____ RECEIVED FOR RECORD THIS ____ DAY
OF _____, 20____, AT _____ M.

RECORDED THIS ____ DAY OF _____, 20____.

GREENE COUNTY RECORDER

GREENE COUNTY AUDITOR
WE HEREBY APPROVE AND ACCEPT THIS PLAT AND RECOMMEND THAT
THE SAME BE RECORDED SUBJECT TO THE INCLUDED AGREEMENTS.

SIGNED THIS ____ DAY OF _____, 20____
TRANSFERRED THIS ____ DAY OF _____, 20____

GREENE COUNTY AUDITOR

CITY OF BEAVERCREEK COUNCIL
ACCEPTANCE AND APPROVAL IS MADE BY THE CITY COUNCIL OF THE
THE CITY OF CENTERVILLE THIS THE ____ DAY OF _____, 20____.

PRESIDENT OF CENTERVILLE CITY COUNCIL CLERK

CITY OF BEAVERCREEK PLANNING BOARD AND ZONING
APPROVED BY THE CENTERVILLE PLANNING AND ZONING COMMISSION
THIS ____ DAY OF _____, 20____.

CHAIR CLERK

PLAT AUTHORIZATION

Barbara Gigante as Successor Trustee of the Charles J. Lofino Grandchildren's Trust, the owner of the land included within this plat have caused the area located in the City of Beavercreek, Ohio, encompassed by this plat, to be surveyed, platted, and known as The Village at Stone Falls II.

Being 13.409 acres out of a tract conveyed to Michael D. Lofino Trustee in Volume 473, Page 483, and 1.539 acres out of a tract conveyed to Barbara Gigante Successor Trustee in Volume 3626, Page 815 of the Greene County Recorder's, Ohio.

Barbara Gigante as Successor Trustee of the Charles J. Lofino Grandchildren's Trust
By: Barbara Gigante., Trustee

Barbara Gigante, Trustee
State of Ohio
County of _____

The forgoing instrument was acknowledged before me this ____ day of _____, 20____, by Barbara Gigante, on behalf of Barbara Gigante Successor Trustee of the Charles J. Lofino Grandchildren's Trust..

Notary Public

My commission expires

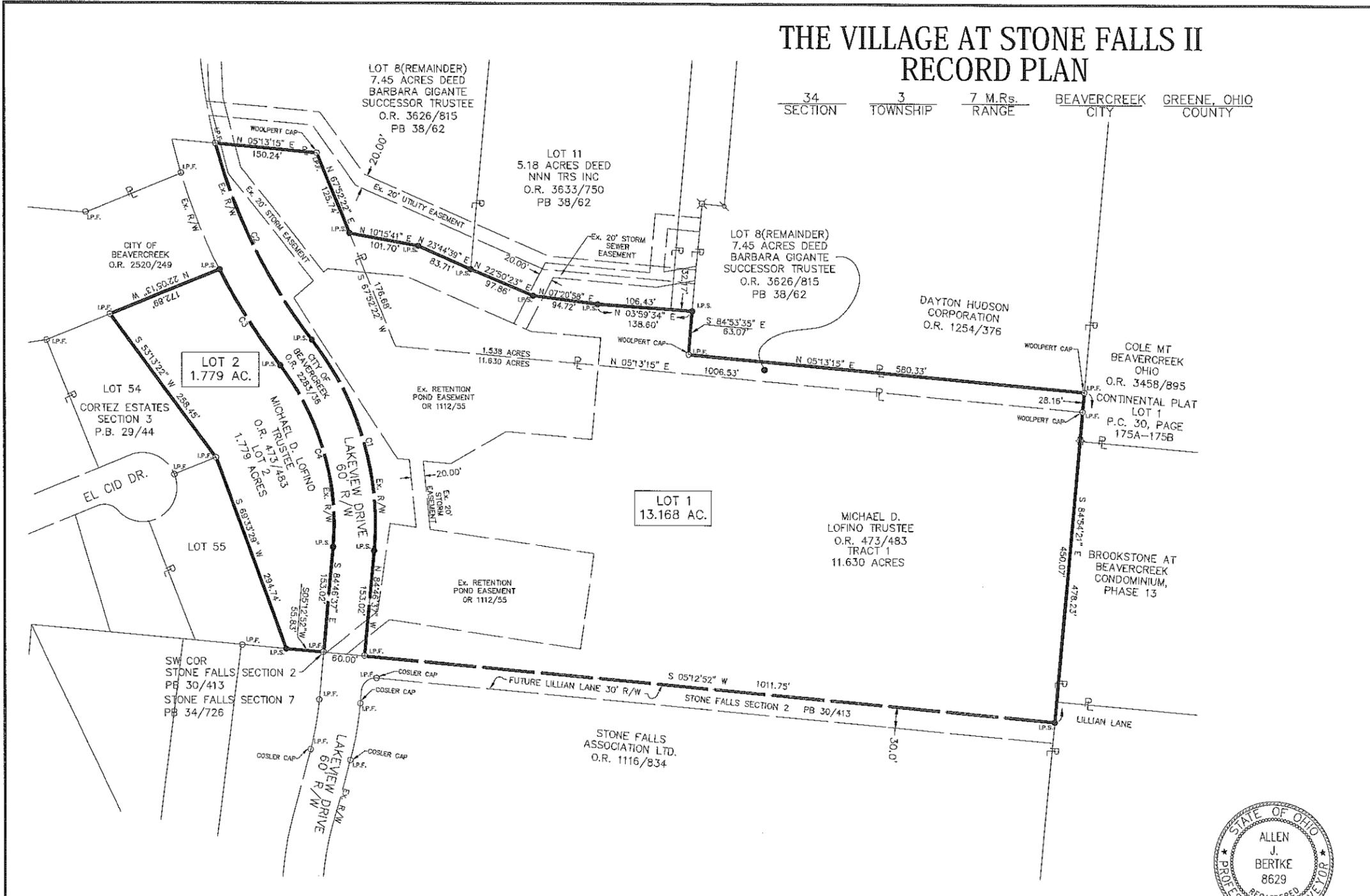
ALLEN J. BERTKE, P.S. #8629 DATE

	CHOICE ONE ENGINEERING 440 E. HOEWISHER ROAD SIDNEY, OHIO 45365 (937) 497-0200 203 W. LOVELAND AVENUE LOVELAND, OHIO 45140 (513) 239-8554 www.choiceoneengineering.com	DATE: 02-24-2016
		DRAWN BY: AJB
		JOB NUMBER: GREBEA1604
		SHEET NUMBER 1 OF 2

RECEIVED
FEB 25 2016
CITY OF BEAVERCREEK
PLANNING DEPARTMENT

THE VILLAGE AT STONE FALLS II RECORD PLAN

SECTION 34 TOWNSHIP 3 RANGE 7 M.R.s. BEAVERCREEK CITY GREENE, OHIO COUNTY



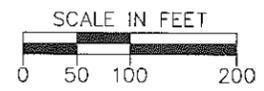
CURVE DATA

CURVE	RADIUS	Δ	LENGTH	CHORD	
				LENGTH	BEARING
C1	428.13'	43°35'20"	325.71'	317.91'	S 73°25'44" W
C2	770.00'	23°49'46"	320.24'	317.94'	S 63°32'56" W
C3	830.00'	11°24'24"	165.24'	164.97'	N 57°20'16" E
C4	368.13'	43°35'22"	280.07'	273.36'	N 73°25'44" E

LEGEND

- I.P.S. 5/8" X 30" REBAR W/CAP SET
- I.P.F. IRON PIN FOUND
- ⊗ MAG NAIL FOUND
- ⊗ RAILROAD SPIKE FOUND

THE BEARINGS ARE BASED ON NAD 83, GEOID 2003 OHIO SOUTH ZONE, ODOT VRS CORS NETWORK



CHOICE ONE ENGINEERING

440 E. HOEWISHER ROAD SIDNEY, OHIO 45365 (937) 497-0200 www.choiceoneengineering.com

203 W. LOVELAND AVENUE LOVELAND, OHIO 45140 (513) 239-8554

DATE: 02-24-2016 SHEET NUMBER: 2 OF 2