



CITY COUNCIL
Regular Meeting – April 11, 2016 6:00 p.m.
Council Chambers

1368 Research Park Dr
Beavercreek, Ohio

PROCLAMATIONS

- ◆ National Public Safety Telecommunicators' Week

- I. CALL TO ORDER
- II. ROLL CALL
- III. PLEDGE AND PRAYER/MOMENT OF SILENCE – Council Member Whilding
- IV. APPROVAL OF AGENDA
- V. APPROVAL OF MINUTES
 - A. March 21, 2016 Work Session
 - B. March 28, 2016 Work Session
 - C. March 28, 2016 Regular Meeting
- VI. PUBLIC HEARING Z-16-2, Corle Rezoning
 - A. Applicant Presentation
 - B. Staff Presentation
 - C. Public Input
 - D. Council Input
 - E. Ordinance 16-07
- VII. PUBLIC HEARING –PUD 541 MOD 2/16, Flying Ace Express Car Wash/Starbucks
 - A. Applicant Presentation
 - B. Staff Presentation
 - C. Public Input
 - D. Council Input
 - E. Motion
- VIII. ORDINANCES, RESOLUTIONS AND PUDS
 - A. Ordinance 16-08 Additional Appropriations (Single Reading)
 - B. Resolution 16-09 DARE Grant
- IX. LIQUOR PERMITS
 - A. Mall Innkeepers LLC DBA Springhill Suites (New)
- X. CITY MANAGER'S REPORT
- XI. MAYOR'S REPORT
- XII. COUNCIL TIME
- XIII. CITIZEN COMMENTS
- XIV. EXECUTIVE SESSION
- XV. ADJOURNMENT

BEAVERCREEK CITY COUNCIL
WORK SESSION, March 21, 2016, 5:00 p.m.

Mayor Stone called the meeting to order followed by roll call.

PRESENT: Council Member Jarvis, Council Member Litteral, Council Member Upton, Council Member Wallace, Council Member Whilding, Vice Mayor Vann, Mayor Stone

ABSENT: None

TARDY: Vice Mayor Vann

Council Member Upton MOVED to excuse Vice Mayor Vann, seconded by Council Member Jarvis. Motion PASSED by majority voice vote.

ALSO IN ATTENDANCE: Chris Conard, Legal Counsel; Michael Cornell, City Manager; Dennis Evers, Chief of Police; Theresa Hathaway, Fiscal Officer; Bill Kucera, Financial Administrative Services Director; Dianne Lampton, Clerk of Council; Mike Thonnerieux, Public Service Administrative Director

APPROVAL OF AGENDA

Council Member Whilding MOVED to approve the agenda, seconded by Council Member Wallace. Motion PASSED by majority voice vote.

DISCUSSION ITEMS

Vacant Abandoned Property Registry/Outstanding Zoning Code Issue

Mr. McGrath discussed a procedure for the registration of abandoned, foreclosure and vacant properties. He reviewed the benefits of the registry which included having contact information to address any issues that may be incurred regarding the property. There was discussion regarding the public record aspect of the registry however this information would already be public record with the county. There was discussion regarding fees, the benefits for policing, staffing analysis for the code enforcement officer and the security of the registry. Legislation would be coming forward at a future council meeting. There was discussion regarding addressing the allowance of chickens within the city limits. There was a consensus to bring legislation forward regarding this topic.

March 21, 2016

Status of RTA at the Greene

Mr. Thonnerieux updated Council on the status of the RTA at the Greene explaining the Greater Dayton Regional Transit Authority was continuing to work with the property owner to work towards a potential stop on the west side of Chestnut Street. City staff has offered Greater Dayton RTA an opportunity for conditional approval pending the right-of-way approval and pending the security of another piece of property on the corner of Chestnut and Beach Streets. He said they are trying to work with the property owner to make an agreement. He reviewed the areas that would need to be modified to accommodate the right hand turns. There was discussion regarding safety issues. There was a request to review the most recent 2012 transit stop criteria.

Line Item Reimbursement for Council Costs, Memberships, Conferences, Tablets and Council-Township Communication Committee

Council reviewed the concept of reimbursement for costs incurred for memberships, mandatory events and conferences. It was asked for Council members to compile a list of costs to discuss further at the next work session.

Vice Mayor Vann arrived at 5:46 p.m.

There was discussion regarding Council tablet usage and the possibility of upgrading. The issue is the limitation of opening larger attachments and word documents. It was asked to look into options.

There was discussion of meeting on a bi-monthly basis as a Township-City Committee as discussed at the Council Advance. Council discussed who would representing the City and those interested would be acknowledged at the next meeting.

Re-evaluation of 2002 Strategic Plan

Mayor Stone discussed the idea of Vice Mayor Vann and a few citizens review the 2002 Strategic Plan to create a plan to know where they need to start. Council Member Whilding expressed interest to be on the committee.

Open Checkbook Update

Mr. Kucera reviewed the checkbook on the state website and how to maneuver through the information. This information would be available to the public within the next couple of weeks and would be updated quarterly.

INFORMATIONAL ITEMS**Electric Generation Supply for Governmental Facilities**

Council would review the legislation regarding the bidding of electric generation supply costs for governmental facilities. This legislation would need to be passed as an emergency due to the deadline for the negotiations.

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COUNCIL COMMITTEE/EVENT UPDATES

Council discussed committee events they had attended and anything thing they scheduled in the near future.

ADJOURNMENT

Council Member Upton MOVED to adjourn the meeting at 6:35 p.m., seconded by Council Member Whilding Motion PASSED by majority voice vote.

Bob Stone, Mayor

ATTEST:

Dianne Lampton
Clerk of Council
Cmin032116Worksession

BEAVERCREEK CITY COUNCIL
WORK SESSION, March 28, 2016, 5:00 p.m.

Mayor Stone called the meeting to order followed by roll call.

PRESENT: Council Member Jarvis, Council Member Litteral, Council Member Upton, Council Member Wallace, Council Member Whilding, Mayor Stone

ABSENT: Vice Mayor Vann

Council Member Whilding MOVED to excuse Vice Mayor Vann, seconded by Council Member Jarvis. Motion PASSED by majority voice vote.

ALSO IN ATTENDANCE: Michael Cornell, City Manager; Kim Farrell, Park Superintendent; Krissi Fedkow, Senior Center Coordinator; Bill Kucera, Financial Administrative Services Director; Dianne Lampton, Clerk of Council; Steve McHugh, Legal Counsel; Jeff Moorman, City Engineer; Erin Morley, Recreation Supervisor;

APPROVAL OF AGENDA

Council Member Litteral MOVED to approve the agenda, seconded by Council Member Wallace. Motion PASSED by majority voice vote.

DISCUSSION ITEMS

Lofino Expansion Update

Ms. Farrell reviewed the history of the acquisition of the Lofino building and the requirements associated with the donation. She reviewed the events leading up to this point regarding details of the needs for the expansion.

Matt Franklin, Vice President, Levin Porter Architects reviewed the needs of the building along with the floor plan of the expansion.

Mayor Stone allowed public input.

Roberta Shiverdecker, 3323 Sunnyside Drive, Beavercreek, Ohio

Ms. Shiverdecker expressed her concern of including the Parks Department offices in the expansion. She said there were other needs that were being shorted and this space could be utilized for those needs. She suggested the park offices remain where they are and let them have their building.

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Jerry Petrak, 2038 Avon Drive, Beavercreek, Ohio

Mr. Petrak questioned if the interior walls would be taken down. Mr. Franklin replied they would be taken down in the vacant areas and would be adding new beams and columns.

Carol Graff, 1442 Devoe Drive, Beavercreek, Ohio

Ms. Graff said she is on the Youth Development Council and asked where could the youth meet and what spaces would be available to them. She understood this would be community space and not just a senior center.

Mayor Stone said part of it would be open to the community.

There was discussion regarding the staff office location, the walking track, classes to be offered, repairs needed to the building and other design options. There would be continued input regarding the concept and would be discussed further at the next work session.

ADJOURNMENT

Council Member Whilding MOVED to adjourn the meeting at 5:43 p.m., seconded by Council Member Litteral Motion PASSED by majority voice vote.

Bob Stone, Mayor

ATTEST:

Dianne Lampton
Clerk of Council
Cmin032816Worksession

BEAVERCREEK CITY COUNCIL
REGULAR MEETING March 28, 2016 6:00 p.m.

PROCLAMATIONS

- ◆ National Public Safety Telecommunicators' Week

CALL TO ORDER

Mayor Stone called the meeting to order followed by roll call.

PRESENT: Council Member Jarvis, Council Member Litteral, Council Member Upton, Council Member Wallace, Council Member Whilding, Mayor Stone

ABSENT: Vice Mayor Vann

Council Member Litteral MOVED to excuse Vice Mayor Vann, seconded by Council Member Whilding. Motion PASSED by majority voice vote.

ALSO IN ATTENDANCE: Jill Bissinger, Human Resources; Michael Cornell, City Manager; Dennis Evers, Chief of Police; Bill Kucera, Financial Administrative Services Director; Dianne Lampton, Clerk of Council; Steve McHugh, Legal Counsel; Jeff Moorman, City Engineer; Sandra Pereira, Associate Planner

PLEDGE

Council Member Wallace led the pledge and a prayer.

APPROVAL OF AGENDA

Council Member Wallace MOVED to approve the agenda as amended by removing agenda item VI. A. on the basis of the applicant withdrew application, seconded by Council Member Litteral. Motion PASSED by majority voice vote.

APPROVAL OF MINUTES

Council Member Litteral MOVED to approve the minutes of the March 14, 2016 Regular Meeting, seconded by Council Member Whilding. Motion PASSED by majority voice vote.

ORDINANCES, RESOLUTIONS AND PUDS

Ordinance 16-02 MX-PUD 93-4 Amend 1/16 Ashton Brook Phase 5 (Third Reading)

Clerk Lampton read an Ordinance amending Ordinance #09-34 rezoning and concept plan (PUD 93-4) to construct 32 multi-family residential units on the north side of Lillian Lane, south of I-675. This property is further described as

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Book 4, Page 2, Parcel 24 and the Greene County Property Tax Atlas. (PUD 93-4, Amendment 1/16)

Council Member Litteral MOVED to approve Ordinance 16-02, seconded by Council Member Jarvis. Motion PASSED by majority voice vote.

Ordinance 16-05 Electric Generation Supply Agreement with Miami Valley Cable Council (MVCC) (Emergency)

Clerk Lampton read an Ordinance authorizing the City Manager to enter into for municipal facilities an agreement for electric generation supply with a competitive retail electric service provider and declaring an emergency.

Mr. McHugh explained the legislation was structured as an emergency was to allow Miami Valley Cable Council to lock in a competitive rate for municipal electric generation. He said once they have a price, they would not be able to hold it.

Council Member Upton said there was some confusion with a few citizens who were thinking the City was going in with the County for aggregate electric. He explained this legislation was only for municipal buildings and not the entire city.

Council Member Upton MOVED to approve Ordinance 16-05 as an emergency, seconded by Council Member Wallace. Motion PASSED by a roll call vote of 6-0.

Resolution 16-07 Executive Recruitment Committee

Clerk Lampton read a Resolution approving the formation of a three member executive recruitment committee to facilitate in the City Manager executive search and recruitment plan for the City of Beavercreek, Ohio and delineating the executive recruitment committee's role and responsibilities.

Ms. Bissinger explained Michael Cornell was retiring at the end of 2016 from public service following a successful ten year period as City Manager with the City of Beavercreek. She said City Council was seeking to form a three-member Executive Recruitment Committee to facilitate the City Manager executive search and recruitment plan. She said Council Members serving on the on the Executive Recruitment Committee would be available for multiple business meetings, conference calls, interviews and other related activities. She said this Resolution would grant the committee authority to review and approve the Request for Proposal (RFP) for external executive search firm services as well as the job announcement and the RFP press release. She said they would review and evaluate statements of proposal that have been submitted by external

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executive search firms, interview executive search firms as needed and make a recommendation of an external search firm to City Council for approval. She said they would also review and approve the candidate profile, the City Manager recruitment brochure, advertising and marketing plan. She said they would review and select interview questions for potential candidates, negotiate compensation with the prospective City Manager recognizing the final decision about the amount of compensation to be offered to the City Manager as well as the terms of the City Manager's contract would be made by the entire City Council in open session and take any additional action necessary to facilitate the City Manager executive search and recruitment plan. She said the City Charter and Code of Beavercreek authorizes City Council to create temporary committees by Resolution. Staff recommends adoption of this Resolution.

Council Member Wallace said this committee will be very public and try to create the atmosphere as the Beavercreek City School's did with the superintendent search with a lot of input and transparency.

Council Member Litteral MOVED to approve Resolution 16-07, seconded by Council Member Jarvis. Motion PASSED by majority voice vote.

Council Member Jarvis MOVED to appoint Council Member Upton, Council Member Wallace and Council Member Whilding to the Executive Recruitment Committee, seconded by Council Member Litteral. Motion PASSED by majority voice vote.

Resolution 16-08 2016 Resurfacing Program Cooperation Agreement with County Engineer

Clerk Lampton read a Resolution authorizing the City Manager to enter into an agreement with the Greene County Engineer for the project known as the Collective Paving for 2016.

Mr. Moorman said as done for the past several years it was staff's recommendation they bid the resurfacing program through the Greene County Engineers Collective Resurfacing program. He said the benefit of this program with several jurisdictions combining their resurfacing program provides opportunity for lower asphalt costs through the purchasing of bulk. He said to proceed with this it was necessary for Council to approve the Resolution to allow the City Manager to execute the agreement with the County Engineer's office.

Council Member Jarvis asked how many miles were planned to be paved this year. Mr. Moorman replied they were currently planning ten and a half center

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line miles. He explained they typically have funds leftover towards the end of the program and will be able to resurface more.

Council Member Upton MOVED to approve Resolution 16-08, seconded by Council Member Whilding. Motion PASSED by majority voice vote.

CITY MANAGER'S REPORT

Mr. Cornell thanked the citizens for the approval of the levy which has been approved for the last thirty years. He said the planning for the 2016 Resurfacing and Curb Replacement programs was underway. He said the Parks Department is looking for interested organizations, businesses or neighborhood groups to adopt a park and to please contact Kim Farrell at 427-5510 or farrell@beavercreekohio.gov.

MAYOR'S REPORT

Mayor Stone said the 50th anniversary of the Vietnam War would be held on March 30th at Dayton VA.

COUNCIL TIME

Council Member Whilding thanked the citizens for voting and the staff for their work keeping cost down.

Council Member Jarvis echoed the comments regarding passing Issue 1.

Council Member Wallace reviewed the employee anniversaries. Congratulations to everyone. She thanked the citizens for voting for the levy. The Beavercreek Women's League will be holding their meeting at 9:00 a.m. on April 6th at Peace Lutheran Church. The Taste of Greene County will be held on April 10th from 11:00 a.m. to 3:00 p.m. at the Nutter Center. Tickets are available at the Chamber Office, online or at the door.

Council Member Upton thanked the citizens for voting for Issue 1. He congratulated Nathan Falu, a Beavercreek Resident who was named 40 under 40 by the Dayton Business Journal.

Council Member Litteral thanked everyone who volunteers for the city. She said this city has a wonderful group of volunteers. She said they save the city millions of dollars. She thanked BeaverVu Bowl and Poelking Marian Lanes for hosting the 90th Anniversary of the Ohio USBC Women's Bowling Association Championship Tournament.

Mayor Stone thanked the citizens for supporting the levy.

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CITIZEN COMMENTS

Ron Tanski, 2453 Green Ash Drive, Beavercreek, Ohio

Mr. Tanski addressed Council regarding the policy of double taxing private communities. He had been in contact with the mayor and another member of Council. He said he thought they understood the position he had. He said he has sent emails with no response from anyone by the mayor. He said private communities are being double taxed in order to cover the roads in this community. He said it is very easily looked at if you look at how it's being done and is being condoned by the Council Members. He pays the same taxes as anybody else living in this community not in the private communities. He said the people not in the private communities get their roads taken care of. He said private communities don't have any of those amenities even though they pay for them. He said we are paying the same taxes. He said the point he was trying to make is he wasn't sure if anybody on Council cared. He said he knew people on Council understand the issue but they turn around and put road issues on the ballot. He said if there was anybody from the newspapers would like to talk to him, he would explain it again. He said it was very simple, he pays double taxes for the road service and get nothing except for what he pays to the community.

Mayor Stone said they had heard him and received his email. He said it is factual but the question is if it was something that could be addressed. He said they would not interact.

Mr. Tanski said you take the amount of taxes he is overpaying to the City and send that to the board of his community that takes care of the roads. He said you don't have to do it individually, just take the value of the whole community and take that amount and send to the board to take care of the roads. He said you could do that will all the private communities. He said you don't have to change the law, just return the money you are taking.

Mayor Stone said they would receive input from staff regarding the comments and be in touch with Mr. Tanski.

ADJOURNMENT

Council Member Whilding MOVED to adjourn the meeting at 6:31 p.m., seconded by Council Member Litteral. Motion PASSED by majority voice vote.

BEAVERCREEK CITY COUNCIL

REGULAR

March 28, 2016

Bob Stone, Mayor

ATTEST:

Dianne Lampton
Clerk of Council
Cmin032816

CITY OF BEAVERCREEK
CITY COUNCIL
AGENDA ITEM REPORT

MAC 4716

Meeting Date: April 11, 2016 Agenda Reference No. VI. A-E	Reference Topic Z 16-2 4230 Dayton-Xenia Road (R1-A to RO-1) Ordinance 16-07
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ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

REQUEST BY APPLICANT:

The applicant is requesting to rezone the property at 4230 Dayton-Xenia Road from R-1A One-Family Residential to RO-1, Residential Office in order to operate a real estate agency from the existing structure.

STAFF RECOMMENDATION:

Planning Commission and Staff are recommending approval of this rezoning request as outlined in the attached Ordinance.

PROCEDURAL OPTIONS FOLLOWING ACTION:

City Council may choose to recommend approval, disapproval, or tabling of the attached application for further review.

ORDINANCE NO. 16-07

CITY OF BEAVERCREEK

SPONSORED BY COUNCIL MEMBER _____
ON THE 11TH DAY OF APRIL, 2016.

AN ORDINANCE AMENDING THE ZONING MAP, BY REZONING APPROXIMATELY 0.47 ACRES OF LAND LOCATED AT 4230 DAYTON-XENIA ROAD, FURTHER DESCRIBED AS BOOK 2, PAGE 4, PARCEL 36 FROM R-1A ONE FAMILY RESIDENTIAL TO RO-1 RESIDENTIAL OFFICE (Z-16-2).

Whereas, Clyde and Patricia Corle, 3439 Riva Court, Beavercreek, OH 45432, has requested the rezoning; and

Whereas, the City of Beavercreek Planning Commission has recommended approval of the rezoning amendment; and

WHEREAS, the City Council has voted to adopt the recommendation of the Planning Commission, this being a decision that requires approval by four members of Council.

NOW THEREFORE THE MUNICIPALITY OF BEAVERCREEK HEREBY ORDAINS:

SECTION I

That the Zoning Map referenced in §158.018 of the Zoning Code is hereby further amended to change approximately 0.47 acres of land, located at 4230 Dayton-Xenia Road, known as B42000200040036000 and as further described in the attached "Exhibit A" be rezoned to RO-1 Residential Office.

SECTION II

This Ordinance shall take effect from and after the earliest period allowed by law.

SECTION III

It is hereby found and determined that all formal actions of this Council concerning and relating to the adoption of this ordinance were adopted in an open meeting of this Council, and that any and all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements, including, but not limited to Section 121.22 of the Ohio Revised Code.

PASSED this _____ day of _____, 2016.

Bob Stone, Mayor

ATTEST:

Dianne Lampton, Clerk of Council

SUMMARY

This Ordinance adopts a recommendation to rezone approximately 0.47 acres of land located at 4230 Dayton-Xenia Road from R-1A, One Family Residential to RO-1, Residential Office.

This is not an emergency ordinance and will become effective 30 days after passage.

EXHIBIT "A"

Situated in the City of Beavercreek, County of Greene and State of Ohio and being Lot Number 36 Beaver Brook as recorded in Plat Book 3, page 165 nka Plat Cabinet 32, page 40A of the Plat Records of Green County, Ohio.

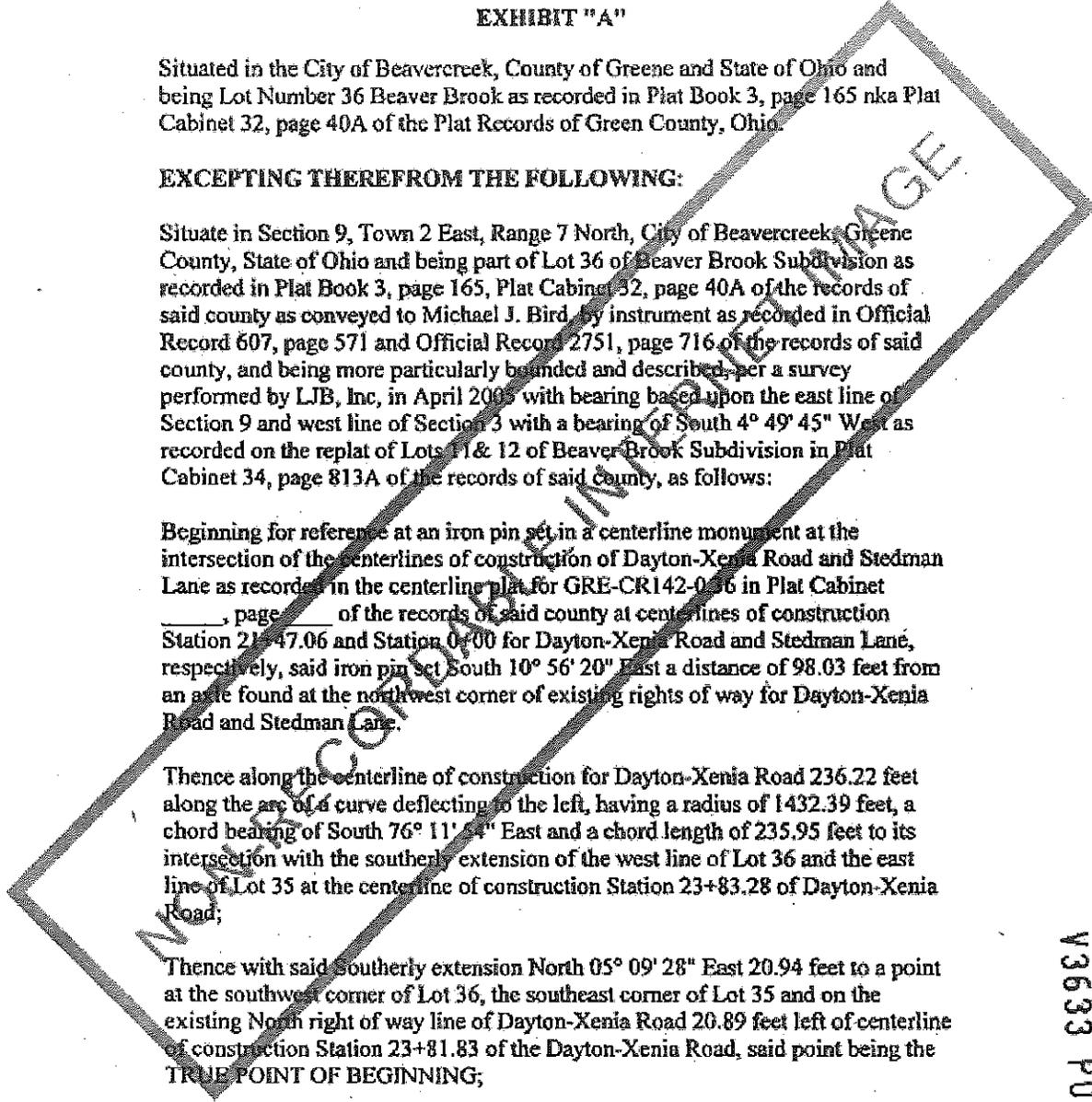
EXCEPTING THEREFROM THE FOLLOWING:

Situate in Section 9, Town 2 East, Range 7 North, City of Beavercreek, Greene County, State of Ohio and being part of Lot 36 of Beaver Brook Subdivision as recorded in Plat Book 3, page 165, Plat Cabinet 32, page 40A of the records of said county as conveyed to Michael J. Bird, by instrument as recorded in Official Record 607, page 571 and Official Record 2751, page 716 of the records of said county, and being more particularly bounded and described, per a survey performed by LJB, Inc, in April 2005 with bearing based upon the east line of Section 9 and west line of Section 3 with a bearing of South 4° 49' 45" West as recorded on the replat of Lots 11 & 12 of Beaver Brook Subdivision in Plat Cabinet 34, page 813A of the records of said county, as follows:

Beginning for reference at an iron pin set in a centerline monument at the intersection of the centerlines of construction of Dayton-Xenia Road and Stedman Lane as recorded in the centerline plat for GRE-CR142-0036 in Plat Cabinet _____, page _____ of the records of said county at centerlines of construction Station 21+47.06 and Station 0+00 for Dayton-Xenia Road and Stedman Lane, respectively, said iron pin set South 10° 56' 20" East a distance of 98.03 feet from an angle found at the northwest corner of existing rights of way for Dayton-Xenia Road and Stedman Lane.

Thence along the centerline of construction for Dayton-Xenia Road 236.22 feet along the arc of a curve deflecting to the left, having a radius of 1432.39 feet, a chord bearing of South 76° 11' 54" East and a chord length of 235.95 feet to its intersection with the southerly extension of the west line of Lot 36 and the east line of Lot 35 at the centerline of construction Station 23+83.28 of Dayton-Xenia Road;

Thence with said southerly extension North 05° 09' 28" East 20.94 feet to a point at the southwest corner of Lot 36, the southeast corner of Lot 35 and on the existing North right of way line of Dayton-Xenia Road 20.89 feet left of-centerline of construction Station 23+81.83 of the Dayton-Xenia Road, said point being the TRUE POINT OF BEGINNING;



V3633 P0399

EXHIBIT "A" Cont.

Parcel 7WD

Thence along the West line of Lot 36 and the East line of Lot 35 North 05° 09' 28" East 21.02 feet to an iron pin set on the new North right of way line of Dayton - Xenia Road at 41.86 feet left of centerline of construction Station 23+80.33 of Dayton-Xenia Road;

Thence along the new North right of way line 99.82 feet along the arc of a curve deflecting to the left, having a radius of 1894.75 feet, a chord bearing of South 80° 01' 02" East and a chord length of 99.80 feet to an iron pin set on the east line of Lot 36 and the west line of Lot 37, 39.25 feet left of the centerline of Station 24+80.67 of Dayton-Xenia Road;

Thence along the east line of Lot 36 and the west line of Lot 37 South 05° 09' 28" West 18.28 feet to a point at the southeast corner of Lot 36, the southwest corner of Lot 37 and on the existing north right of way line at 21.00 feet left of the centerline of Station 24+81.70 of Dayton-Xenia Road;

Thence along the south line of Lot 36 and the existing north right of way of North 81° 35' 20" West, 82.61 feet to the TRUE POINT OF BEGINNING.

The above described area contains 0.044 acres of land, more or less, subject to all legal easements and restrictions of record, of which the present road occupies 0.000 acres of land.

The description for parcel Number 7WD above was calculated and derived from a survey made under the supervision of Harry G. Herbst III, Ohio Registered Surveyor Number 6596.

Note: Iron pins, railroad spikes, and pk nails referred to as "to be set" shall be set by LJB, Inc. upon the completion of construction. Iron pins set in the above description as 3/4' x 30' reinforcing rod with a plastic cap stamped "LJB INC".

The above described area is contained within the Greene County Auditor's Parcel Identification Number B42000200040003600. Within said bounds of the 0.044 acres more or less, is the present road right of way

Property Address: 4230 Dayton Xenia Rd., Dayton, OH 45432

Description Check
 Greene County Engineer's Tax Map Dept.
 Legally Sufficient As Described
 Legally Sufficient With Corrections Noted
 Legally Insufficient, New Survey Required
 Date: 8/15/15
 Par ID Dist: 492 Dist 2 PG 4 PAR 36

V3633 P0400

CITY OF BEAVERCREEK STAFF REPORT

April 6, 2016

PROJECT: Z 16-2 (4230 Dayton-Xenia Road)

APPLICANT: Clyde and Patricia Corle
3439 Riva Court
Beavercreek OH 45432

REQUEST

The applicant is requesting to rezone the property at 4230 Dayton-Xenia Road from R-1A One-Family Residential to RO-1, Residential Office in order to operate a real estate agency from the existing structure.

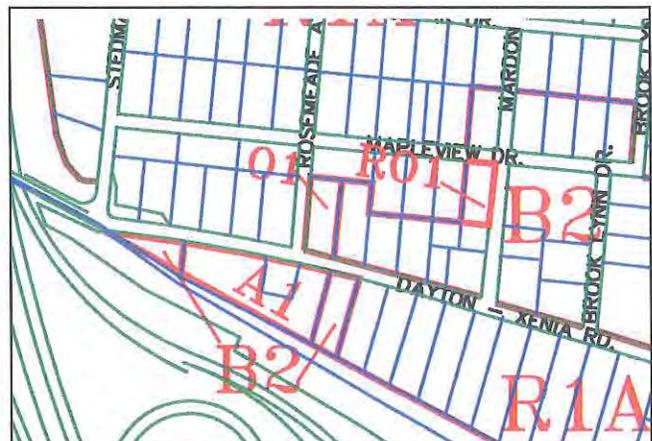
EXISTING CONDITIONS

Current Zoning and Land Use

As stated, the property is currently zoned R-1A, one family residential. It contains a 1,762 square foot, single-story residential structure and a 1,100 square foot detached garage. It is a non-conforming lot due to not meeting the minimum lot size requirement of 20,000 square feet for an R-1A zoning district. This non-conformity was created when the right-of-way was acquired in order to widen Dayton-Xenia Road. The primary structure is non-conforming as it does not meet the minimum setback requirements of 40 feet in the front yard. The garage is also non-conforming because it exceeds the allowed square footage for an accessory structure in a residential district by 219 square feet.

Surrounding Zoning

The subject property is immediately surrounded to the north, east, and west by one family residentially zoned (R-1A) properties. To the south, across Dayton-Xenia Road, is Calvary Chapel of Dayton and Hawker Cemetery, both zoned agriculturally (A-1).

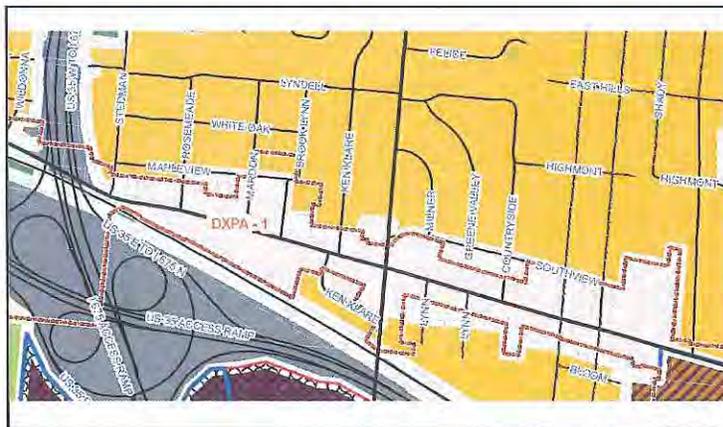


The two properties to the west are used residentially as well as the two properties to the east. The lot at the northwest corner of Dayton-Xenia Road and Rosemeade Avenue contains a single family structure and a parking lot for the Calvary Chapel. As you move east along Dayton-Xenia, the majority of the properties on the north side of the road are zoned for office and community business.

ANALYSIS

The City of Beavercreek Land Use Plan calls for neighborhood commercial or neighborhood office in this section of the Dayton-Xenia Corridor. It is the intent of this area to provide local services to residents that live nearby as well as low intensity and small-scale office uses. The reuse of the existing residential structure for an office use is compatible with the Land

Use Plan's designation in this location.



The RO-1 zoning district being proposed is intended to serve as a transitional zone between residential districts and more intense commercial uses. This zoning designation still gives the owner the option of continuing to use the property residentially but also allows for some very low intensity office uses such as

medical doctors, lawyers, engineers, and similar uses that do not create significant noise or generate additional traffic.

As previously stated, the applicant intends to use this property as a real estate office, proposing to make no changes to the exterior of the structure. The existing parking areas will be resurfaced and striped to accommodate 5 vehicles, as the applicant has indicated that there will be three employees on site at any one time. Closings and other such meetings would be held off site necessitating only two additional spaces for potential clients.

Should there be plans in the future for significant changes to parking, lighting, or structures, the requirements of the RO-1 zoning district would have to be met and Planning Commission approval through the ASRA (Administrative Site Plan Review and Approval) process may be required as outlined in §158.075. Greene County Building Regulation may require the building and site to be made handicap accessible prior to allowing occupancy, and the applicant has been made aware of this. One ground sign would be permitted on the property no larger than 15 square feet per sign face and no taller than four feet.

One of the primary goals of the Dayton-Xenia Corridor Task Force was to encourage re-investment in older structures, whether commercial or residential, specifically along the western portion of Dayton-Xenia Road. This block in particular has had several challenges in the past concerning property maintenance, including this property. The applicant's intent to occupy the existing building with a low intensity use and to clean up the exterior property areas falls in line with the type of progress the task force desires.

Although the buildings will continue to be non-conforming in regard to setbacks and size, should this rezoning request be approved, the property would meet the minimum lot size requirement of the RO-1 zoning district of 16,000 square feet, thereby decreasing the existing nonconformity.

RECOMMENDATION

Based on the foregoing analysis, Planning Commission and staff recommend approval of this request as outlined in the attached Ordinance.



ROSEMADE

MAPLEVIEW

DAYTON XENIA

STEDMAN

CREEKSIDE TRAIL BIKE PATH

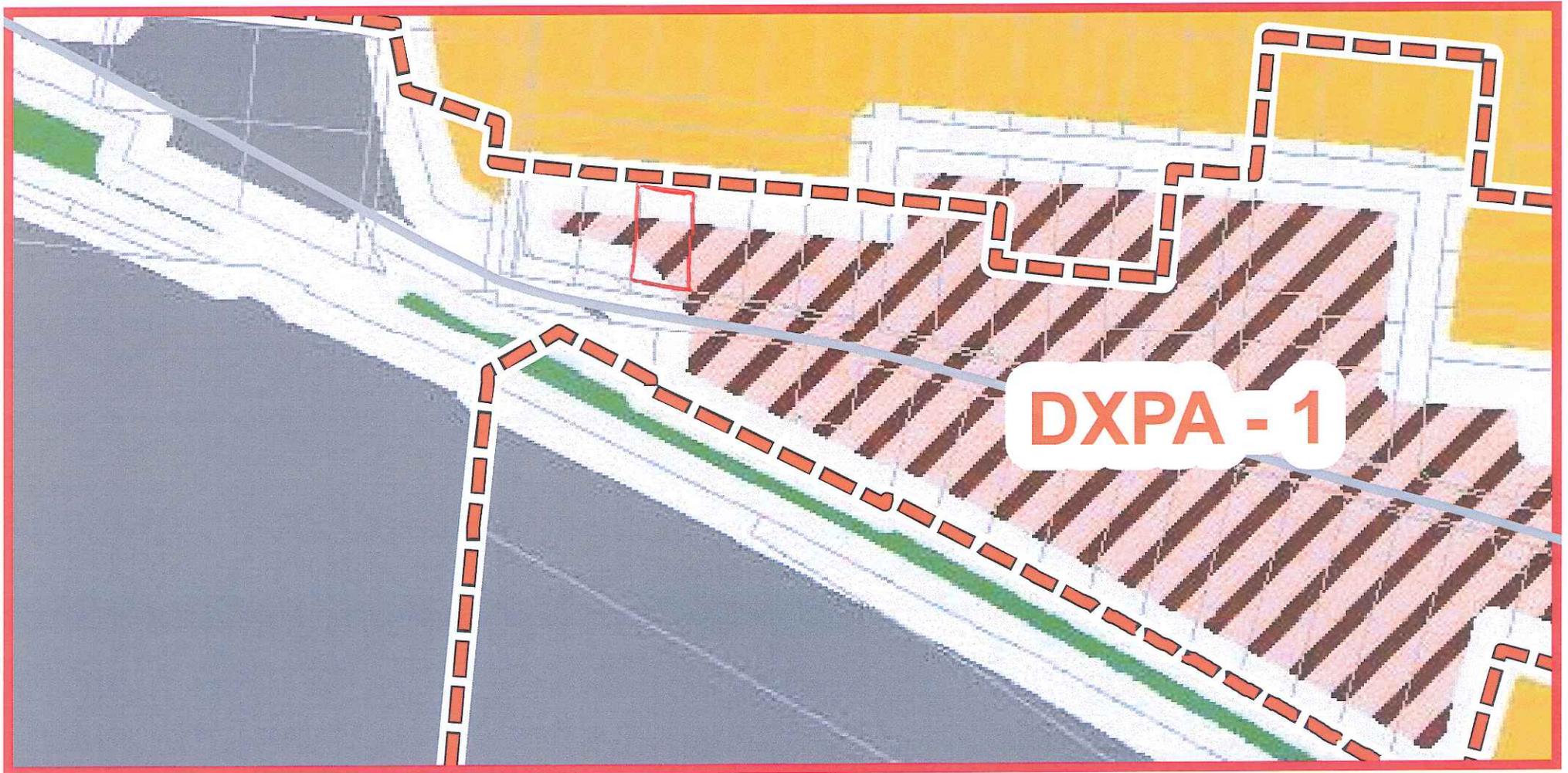
1 inch = 80 feet



1 inch = 30 feet







DXPA - 1



Quote

Harlow Inc.

P.O. Box 163, Jamestown, Ohio 45335
Phone 937-429-1000

RECEIVED

2-16-16

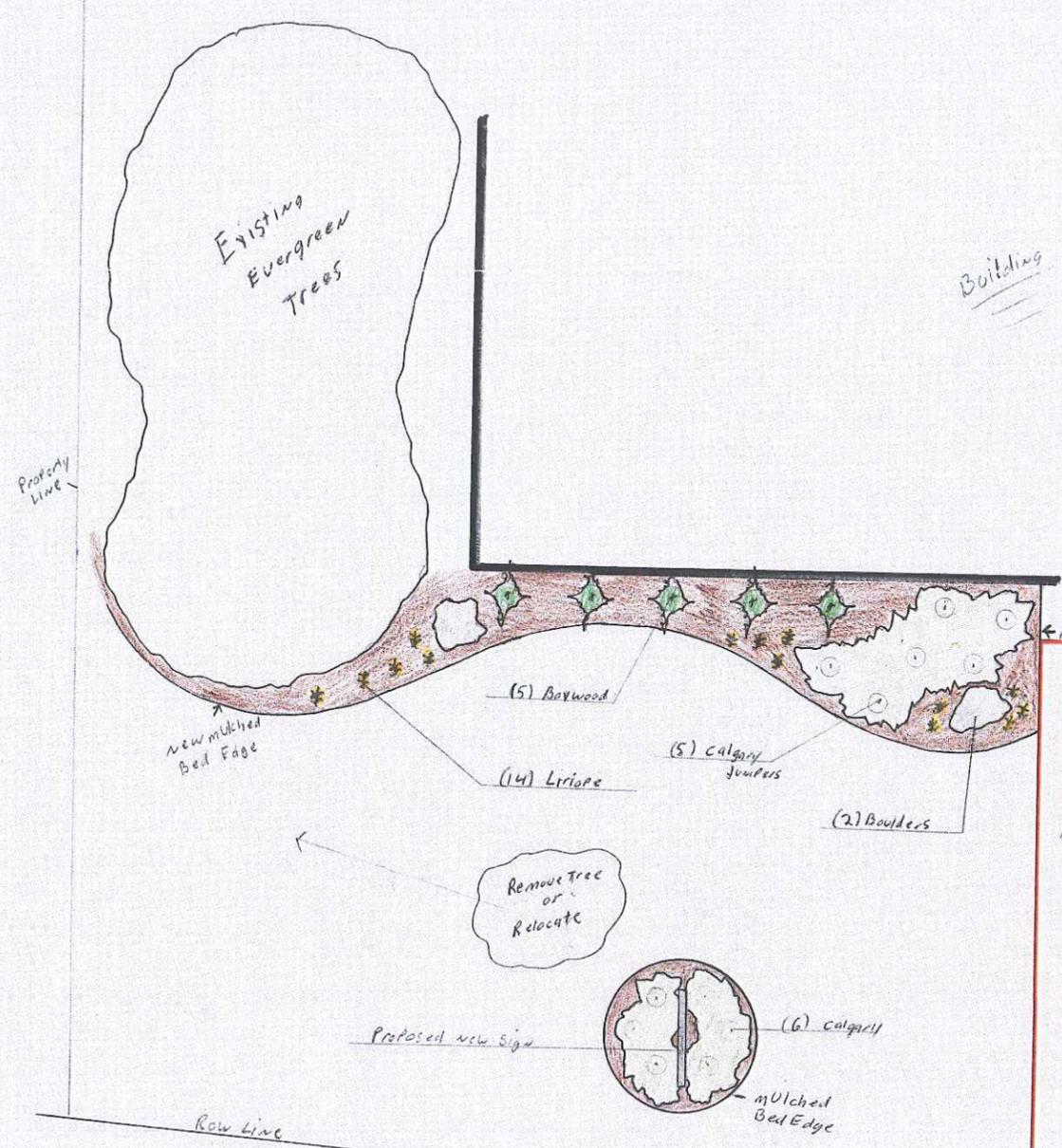
CLYDE & PAT CORAL

FEB 1 / 2016

CITY OF BEAVERCREEK
PLANNING DEPARTMENT

JOB LOCATION	JOB	PAYMENT TERMS	JOB DESCRIPTION
4230 Dayton Xenia rd.	NEW OFFICE		landscape and asphalt

QTY	DESCRIPTION	UNIT PRICE	LINE TOTAL
	LANDSCAPE		
5	Boxwood 15"	35.00	175.00
12	Calgary carpet Juniper 3G	20.00	240.00
2	boulders	100.00	200.00
14	Liriope	7.00	98.00
4	yds of mulch	40.00	160.00
	Labor (inc river stone for building)		1,400.00
	remove any sod		
	prepare beds for planting		
	plant material and mulch		
		SUB TOTAL	2,273.00
quote #1	ASPHALT		
	STRIPPING		
quote #2	ASPHALT		
	STRIPPING		
Labor includes either transplanting or removal of existing evergreen tree		SUB TOTAL	
150.00 is budgeted for this work		SALES TAX	
would recommend removal to help with visibility		BALANCE	



Fill Area with River Stone

↑ Existing concrete ↓

Repair & Seed Area

Property line

New Stone wall

Repair & Seed Area

Reduce wall in this area to protect cars Backup from Parking Area

← APPROX 5' →

↑ New Asphalt walk ↓

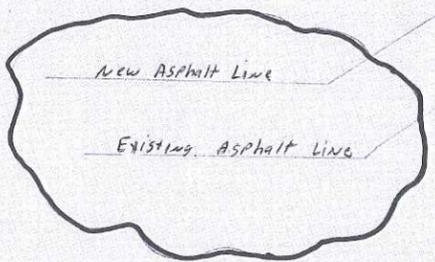
Parking Block

New ASPHALT

Existing ASPHALT

↑ Entrance ↓

Row Line



114230" - Dayton Venita Rd -

RECEIVED

FEB 17 2015

CITY OF BEAVERCREEK PLANNING DEPARTMENT

Design By: [illegible] 2-16-16

To: Planning Commission of Beavercreek, Ohio
Michael Self, Daniel Archibald, Charles Curran, and Troy Erbes

From: Concerned Homeowners of Dayton-Xenia Road and Maplevue Drive

Subject: Proposed Rezoning of Property at 4230 Dayton-Xenia Road, Beavercreek, Ohio

Date: January 25, 2016

We are asking that you DO NOT approve the rezoning of 4230 Dayton-Xenia Road from R-1A One Family Residential District to a RO-1 Residential Office District.

This property is the middle lot of this section of Dayton-Xenia Road. A large majority of the homes surrounding this house are occupied by families with young children. We are concerned with the safety of the children because of increased traffic.

We are a family oriented neighborhood and want to retain the integrity of our area.

Name

Address in Beavercreek, Ohio

Samira Sayles	4221 Maplevue Dr.
Albert L. Sayles	4221 Maplevue Dr.
Johnny Walby	4222 Maplevue Dr.
Derek Hamplan	4244 Maplevue Drive
Rachael Koelker	4203 Maplevue Drive
Shannon Koelker	4203 Maplevue Drive
DANA KUNER	4222 Dayton-Xenia Rd
Megan Kilner	4222 Dayton Xenia Rd
Steven Boyle	4232 Dayton-Xenia Rd.
Jawray King	4232 Dayton-Xenia Rd.
Rhonda Dietrich	4241 Maplevue Dr.

Name

Address in Beavercreek, Ohio

Michael Jones

4254 Dayton Xenia Rd

Faye Marshall

4210 Mapleview Beavercreek

Jamie Spicer

4232 Mapleview Dr.

James W. Spicer

4232 MAPLEVIEW DR.

Brenda Blair

4181 Mapleview Dr.

Mike Blair

4181 MAPLEVIEW DR

John Walker

4222 MAPLEVIEW DR

mana Blair

1621 Rosemeade Dr.

Brooke Rinehart

4210 Dayton Xenia Rd.

Brenda Rinehart

4210 DAYTON XENIA. RD.

Amy Jones

4254 Dayton Xenia Rd

William M. M.

4200 Mapleview Dr.

**CITY OF BEAVERCREEK
CITY COUNCIL
AGENDA ITEM REPORT**

MAC 4/7/16

Meeting Date: April 11, 2016 Agenda Reference No. VII. A-E	Reference Topic PUD 541 MOD 2-16 Flying Ace Express Car Wash/Starbucks Site Plan Motion
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ACTION REQUESTED		
<input type="checkbox"/> Adopt Ordinance	<input type="checkbox"/> Adopt Resolution	<input type="checkbox"/> Review and Comment
<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Accept Staff Recommendation	<input checked="" type="checkbox"/> Adopt Motion

RESPONSIBLE DEPARTMENT OR AGENCY		
<input type="checkbox"/> Finance	<input type="checkbox"/> City Council	<input type="checkbox"/> Law
<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Engineering	<input checked="" type="checkbox"/> Planning & Zoning
<input type="checkbox"/> Police	<input type="checkbox"/> Public Service	<input type="checkbox"/> City Manager
<input type="checkbox"/> Clerk of Council	<input type="checkbox"/> Human Resources	<input type="checkbox"/> Other _____

REQUEST BY APPLICANT:

The applicant is requesting approval of a major modification to the existing site plan to allow for the construction of a new 4,300 square foot Flying Ace Express Carwash, and a 1,970 square foot Starbucks on 1.321 acres. The project is located at the northeast corner of Indian Ripple Road and County Line Road.

STAFF RECOMMENDATION:

Planning Commission and Staff are recommending approval of this rezoning request as outlined in the attached Resolution.

PROCEDURAL OPTIONS FOLLOWING ACTION:

City Council may choose to recommend approval, disapproval, or tabling of the attached application for further review.

April 11, 2016

MOTION TO APPROVE
AAA-BOB SUMEREL TIRE, SPECIFIC SITE PLAN
PUD 541 MOD 2-16

"I move, for the purpose of taking administrative action, approval of a Specific Site Plan for AAA-Bob Sumerel Tire, PUD 541, MOD 2/16, on the basis that City Council finds the facts submitted with the application and accompanying materials, and modifications, amendments and supplementary conditions satisfy the standards and criteria for a PUD Major Modification approval as per §158.070 of the Zoning Code. Supplementary conditions required of this approval shall be as follows. I further move that this motion with all conditions be fully recorded in the minutes of this Council meeting."

1. The approved site plan shall be the plans dated "Received February 24, 2016", the architectural elevations for Starbuck's shall be the plans dated "Received February 8, 2016", and the architectural elevations for Flying Ace Express Carwash shall be the plans dated "Received February 17, 2016", except as modified herein.
2. A PUD Agreement must be signed by the owner and a bond or letter of credit for the site landscaping must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
3. The final landscape plan shall be reviewed and approved by the Planning Department prior to the release of a zoning permit for the building. The final landscape plan shall include landscaping around the perimeter of the northern portion of the building, subject to review by the Planning Department.
4. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally installed, within three months weather permitting.
5. Material and color samples shall be submitted to the Planning Department for review and approved prior to the issuance of a zoning permit.

6. The façade shall not be painted or altered without the expressed approval of the Planning Department and/or Planning Commission
7. Any portion of the site disturbed by grading or by the removal of former structures and/or pervious surfaces and on which no construction occurs within three months after completion of the site grading, shall be planted with appropriate ground cover and properly maintained. Such areas shall be shown as part of the final landscape plan.
8. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including the storm drainage facilities. The City reserves the right to require more frequent collection as necessary.
9. All building mechanical equipment is to be screened from all directions with architectural features (roof forms or parapet walls) on each building. Metal screening will not be accepted. Pad mounted equipment must be screened with landscaping and/or masonry walls and shall not be visible to the public.
10. Gutters and downspouts shall not be visible on any elevation of the Starbuck's building. They shall be internally mounted.
11. Prior to the issuance of a zoning permit, final cut sheet details and photometric plans for lighting of the site shall be reviewed and approved by the Planning Department. No pole shall be located in the paved area of the parking field. All light fixtures and related illumination of the site must meet the conditions outlined in the Zoning Code. Lights in the parking lot shall be reduced to no greater than 25 percent illumination level within one hour of closing.
12. Final topography and grading plans shall be submitted for review and approval by the City Engineer prior to the issuance of a site-grading or zoning permit.
13. Final drainage calculations shall be approved by the City Engineer prior to the release of the zoning permit.

14. All man-doors, service doors and loading dock doors shall be painted to match the color of the building as to blend in with the proposed façade.
15. Any split-face block, EIFS, or concrete masonry unit block will be of integral color and not a material that is painted on the outside only
16. There shall be a maximum of one ground sign for this project. The ground sign, which shall include a minimum 1-foot tall, brick and/or stone base and wrap, shall be a maximum of 5 feet tall and have a maximum 32 square feet per sign face. The final design and location shall be subject to review and approval by the Planning Department prior to release of a permit for the sign. Any ground sign shall be set in a base that shall be constructed of the same brick as used to construct the principal structure.
17. All wall signs shall be individually mounted channel letters or panels. No raceways shall be permitted. The sizes of the signs shall be limited to the sizes shown on the respective approved architectural elevations. The final design and location shall be reviewed and approved by the Planning Department prior to the release of the sign permit.
18. All trash collection containers shall be screened from view and enclosed within a permanent dumpster enclosure or stored completely within the building. Any dumpster enclosure shall be constructed of the same materials as the primary building and have a closable, lockable gate. The final design of the dumpster enclosure shall be reviewed and approved by the Planning and Zoning Department prior to the issuance of any zoning permits.
19. The wall sign shown on the eastern elevation of Starbuck's shall not be permitted.

CITY OF BEAVERCREEK STAFF REPORT

April 6, 2016

PROJECT: Flying Ace Express Carwash/Starbucks's

CASE NO.: PUD 541 MOD 2/16 (Major)

APPLICANT: Flying Ace Express Carwash
c/o Dan Eisenhauer (Agent for owner)
7175 Far Hills Ave.
Dayton, OH 45459

REQUEST

The applicant is requesting approval of a major modification to the existing site plan to allow for the construction of a new 4,300 square foot Flying Ace Express Carwash, and a 1,970 square foot Starbucks on 1.321 acres. The project is located at the northeast corner of Indian Ripple Road and County Line Road.

ANALYSIS

Existing Conditions

The site is currently a vacant, 1.32-acre property, with 270 feet of frontage on County Line Road and 200 feet of frontage on Indian Ripple Road. There is an existing access point to the site from the private access road for Greene Crossings Shopping



Center. Formerly, the site contained the China House restaurant, which after a period of being vacant, was demolished and the site was seeded.

Zoning and Surrounding Uses

The property is currently zoned B-3 with a PUD 541 overlay. Restaurants and vehicle wash facilities are a permitted use within this zoning district.

The surrounding zoning and uses are as follows:

Direction	Surrounding Zoning	Surrounding Use
North	PUD 541	Animal hospital
South	B4	Automobile Vehicle Repair (Oil Change)
East	PUD 541	Accounting Firm
West	Kettering	Automobile Fueling Station

Building Design

Flying Ace Express Carwash

The single story carwash is proposed to be constructed so as to resemble an airplane hangar. It will be constructed mostly of a brown and tan brick, with a red brick base that wraps the entire structure, and be the western of the two proposed buildings. The building will be 35.5 feet wide, 123 feet long and, approximately 21.5 feet to the top of the arched roof. The north and south elevations will have red brick columns at the four corners of the building. The western elevation has several small windows covered by grey standing seam metal awnings. The same grey standing seam metal is proposed to be used to construct the roof of the building. In addition to the small windows, the western elevation shows an airplane mural, with faux hanger doors to further give the appearance of an airplane hangar. The eastern elevation shows large storefront windows and two three foot by five foot interchangeable menu board signs.



Existing Flying Ace Express in Centerville off of US 48

Starbucks

In addition to the car wash, the proposed plans call for the construction of a 1,970 square foot, single story rectangular structure, approximately 70 feet long, 30 feet wide, and 19.5 feet to the top of the parapet wall. The building is oriented so that the short axis, the front of the building, is facing Indian Ripple Road. There is also a proposed 265 square foot outdoor patio on the southeast side of the building, surrounded by a decorative aluminum fence.

The building utilizes a variety of materials, and is compatible with the design of the Flying Ace Express Carwash. Included in the design features is a red brick that wraps the entire base of the building, as well as up the elevation near the entryway pilaster. The design also includes grey brick accent bands near the top of the elevations, the middle of the elevations and just above the brick base and metal awnings over the windows and entryways. The remainder of the wall consists of a light tan brick veneer, with beige bricks sporadically laid throughout each elevation.

The proposed dumpster will be located to the northwest of the Flying Ace Express building. While we haven't received any architectural details of the enclosure at this time, Condition #16 of the attached Motion will ensure it is constructed of materials to match the building (red and brown brick)

Access and Transportation Improvements

The applicant is proposing a single point of access to the site, which will be off the private access drive for the Greene Crossings Shopping Center. There will be no direct access from either Indian Ripple Road or County Line Road to the site. The car wash will have a one way access drive to the west and south of the building. The Starbucks will have a one-way driveway to the east of its building. Between the two buildings is a two way access drive.

Utilities

Water and Sewer services are available to this site.

Stormwater Management

Since this is currently an empty lot (regardless of the fact that there was a restaurant there several years ago), and there will be an increase in the amount of impervious surface to the site, they are required, by ordinance, to detain the stormwater runoff generated by this development. Because of the site size constraints, they are proposing to detain all stormwater generated by this site under the parking lot in a specially designed underground storage containment system. This has been done in other locations in the City, and is acceptable to the City Engineer. The final design and capacity will be reviewed and approved by the Engineering Department prior to any

permit being released for the project.

Parking/Stacking

For automobile washing facilities, the Zoning Code states that there be one off-street parking space for each employee on the largest shift. Based on information provided by the applicant, they will have three employees on the largest shift, thus requiring three off-street parking spaces for the Flying Ace Express Carwash portion of the site. They show six off street parking spaces, plus 10 self-serve vacuum parking spaces. These spaces, because of the self-serve vacuums, are shown as 12 feet wide, rather than the typical 9 feet.

In addition to off-street parking, the Zoning Code requires that businesses which are principally (or solely) drive-thru oriented have adequate space for stacking of vehicles. The intent is to ensure that customers/vehicles waiting for service do not interfere with the normal flow of traffic in and around the site. Specifically, the code requires that automatic car washes provide at least 10 spaces. To the west of the proposed Flying Ace Express Carwash is a double lane drive thru stacking area that funnels into one lane when approaching the front bay door. Based on the length of these two lanes, there is enough room for stacking up to at least 16 cars at any given time.

For restaurants in straight zoning districts, the Zoning Code states that there be one parking space for every 100 square feet of indoor floor area, one parking space for every 200 square feet of outdoor patio area, and one parking space for each employee on the largest shift. Based on 1,970 square feet of indoor floor area, and 260 square feet of outdoor patio, they are required to have 21 parking spaces plus one for each of the 5 employees on the largest shift. That comes to a total of 26 parking spaces for the Starbucks portion of the site. The plans show 23 spaces. However, with the excess parking for the Flying Ace Express, staff is confident there is ample parking on the site as a whole.

The Americans with Disabilities Act requires that parking lots consisting of between 26 and 50 spaces, designate at a minimum two parking spaces as handicap accessible/reserved. The plans show three spaces. They exceed ADA minimum parking requirements.

Screening, Landscaping and Open Space

The landscape plan included in your packets shows a variety of shade and ornamental trees, as well as various decorative shrubs and grasses. Staff is pleased with the overall design of the landscape plan. A condition has been added that the final design should be reviewed and approved by the Planning Department prior to the release of a zoning permit.

For PUDs, there is a requirement that no more than 75% of a site be impervious surface post development. Based on their calculations, should this application be approved, the 1.32 acre site will be approximately 27% pervious surface, which is within the minimum requirements.

Lighting

Included in your packet is a preliminary lighting/photometric plan. The plan shows the use of 20' light poles with full cut off LED fixtures. Additionally the plans call for LED wall pack lighting to be used on both buildings. Staff has added a condition that requires a final photometric plan be reviewed and approved by the Planning Department prior to the issuance of a zoning permit for this PUD.

Signage

Ground

While no specific ground sign design has been included in your packet, staff has added a condition that limits the site to only one ground sign. The condition further establishes size and design criteria. Specifically, they will be limited to a five foot tall sign that has a maximum of 32 square feet per sign face. The sign will have to be placed on a one foot brick base and wrap that matches the building. The final design and location will be approved by the Planning Department prior to the release of a permit for the sign.

Wall

The Ace Flying Express building, as shown on the architectural elevations dated "Received February 17, 2016," include wall signage for all four elevations of the building. The northern elevation, which is the exit elevation, and the southern elevation which is the entrance elevation both show a 36 square foot logo sign. As mentioned in the architectural elevation portion of the report, the western elevation shows a 270 square foot mural, to simulate the interior of an airplane hangar, and the eastern elevation shows two interchangeable menu board signs. While there is signage on all four elevations of the building, the amount of signage is not intrusive or unsightly.



Proposed Flying Ace Express Logo Sign

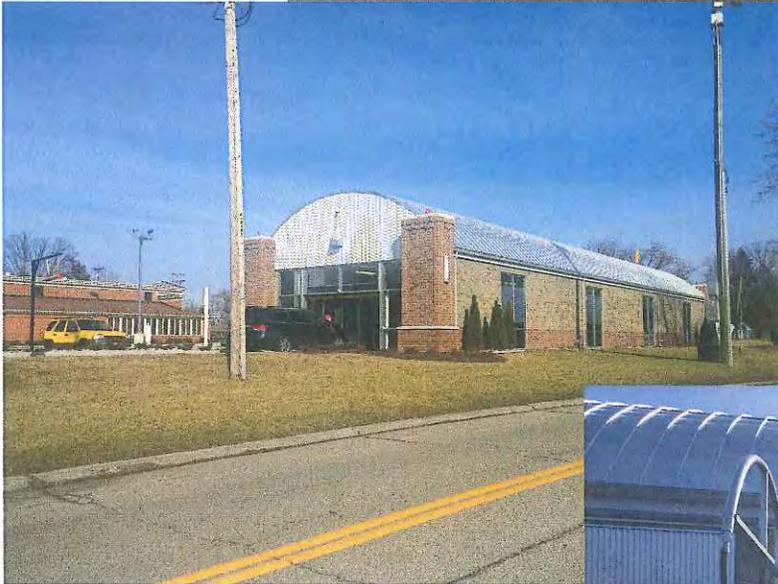
The Starbucks building shows three signs on the western elevation, one sign on the eastern elevation and two signs on the southern elevation. The western elevation, which is the front of the building, shows a 28 square foot Starbucks Logo sign, a 1.5 square foot drive thru sign and a 21.9 square foot letter sign. The southern elevation, which will face Indian Ripple Road shows the 21.9 square foot letter sign, and the 1.5 square foot drive thru sign. Staff doesn't have a concern about the signs on these two elevations. However, staff has added a condition to the proposed Motion that requires the

removal of the eastern elevation sign. As this building is parallel to, and only 40 feet from the accounting firm building to the east, the only ones who will be able to see the sign will be in fact the accountants.

RECOMMENDATION

Based on this analysis, Planning Commission and staff recommend approval of this request subject to the conditions outlined in the attached Motion.

More photos of existing Flying Ace Express on US 48



GENERAL NOTES

- EXISTING UNDERGROUND UTILITIES AND SERVICES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO THE BEST INFORMATION AVAILABLE. THE LOCATIONS SHOWN ARE INTENDED ONLY AS A GUIDE AND CANNOT BE GUARANTEED ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - CONTACTING THE INDIVIDUAL UTILITY OWNERS TEN (10) DAYS PRIOR TO CONSTRUCTION AND ADVISING THEM OF THE WORK TO TAKE PLACE.
 - SOLICITING THEIR AID IN LOCATING AND PROTECTING ANY UTILITY WHICH MAY INTERFERE WITH CONSTRUCTION.
 - EXCAVATING AND VERIFYING THE HORIZONTAL AND VERTICAL LOCATION OF EACH UTILITY.
 - ALL DAMAGE TO ANY EXISTING UTILITY.
 - CONTACTING THE FOLLOWING OWNERS OF UNDERGROUND UTILITIES 48 HOURS BEFORE DIGGING IS TO COMMENCE.

OHIO UTILITIES PROTECTION SERVICE (OUPS)
100 FEDERAL PLAZA EAST,
LOWER LEVEL,
YOUNGSTOWN, OH 44003
1-800-362-2764

DAYTON POWER AND LIGHT CO.
1900 DRYDEN RD.
337-331-4240
DAYTON, OH 45401

WATER AND SANITARY GREENE COUNTY SANITARY CITY OF BEAVERCREEK
867 DAYTON-XENA ROAD
XENA, OH 45355
(937) 582-7450

STORM SEWER/STREETS CITY OF BEAVERCREEK
1368 RESEARCH PARK DR.
BEAVERCREEK, OH 45432
(937) 477-5113

AT&T
3233 WOODMAN DR.
DAYTON, OH 45420
296-3608 7AM-5PM
1-800-572-4747 AFTER 5

ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF OUPS
VEEDERS
8500 CLOY RD.
CENTERVILLE, OH 45404
937-312-2533

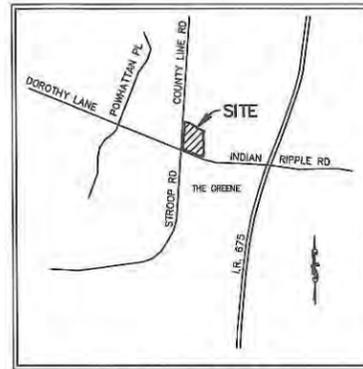
- ALL ITEMS OF WORK CALLED FOR ON THE PLANS FOR WHICH NO SPECIFIC METHOD OF PAYMENT IS PROVIDED SHALL BE PERFORMED BY THE CONTRACTOR, AND THE COST OF SAME SHALL BE INCLUDED IN THE PRICE BID FOR RELATED ITEMS.
- WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT EXACT ELEVATIONS MAY BE DETERMINED AND THE NECESSARY ADJUSTMENT MADE. COST OF THE ABOVE, IF ANY, WILL BE INCLUDED IN THE PRICE BID FOR THE PERTINENT ITEM.
- ALL TRENCHES WITHIN ROAD RIGHT-OF-WAYS SHALL BE BACKFILLED ACCORDING TO THE CITY OF BEAVERCREEK TRENCH RESTORATION SPECIFICATIONS WHICH EVER IS MORE STRICT.
- ALL EXISTING SANITARY SEWER AND WATER LINE FACILITIES THAT ARE UTILIZED DURING CONSTRUCTION MUST BE REPAIRED AND BROUGHT TO FINAL GRADE.
- DUE TO SOIL TYPES AND/OR SHALLOW BEDROCK, SEASONAL SEEPS MAY OCCUR, SUCH SEEPAGE SHALL BE IDENTIFIED DURING CONSTRUCTION AND PIPED INTO THE STORM SEWER SYSTEM.
- ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE "OHIO MANUAL OF TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS", COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 25 S. FRONT STREET, COLUMBUS, OH 43215.
- THE CONTRACTOR AND SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. SAFETY REQUIREMENTS, OUTLINED IN THE STATE OF OHIO "CONSTRUCTION SAFETY CODE" FOR THIS TYPE OF WORK WILL BE ENFORCED AND THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE CODE ISSUED AS A GENERAL ORDER BY THE INDUSTRIAL COMMISSION OF OHIO.
- EXISTING DRAIN TILE DAMAGED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED OR CONNECTED TO THE STORM SEWER AS DIRECTED BY THE CITY OF BEAVERCREEK ENGINEER. NO PAYMENT WILL BE MADE FOR TILE REPLACEMENT.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL MEET WITH AND SUBMIT A CONSTRUCTION SCHEDULE TO THE GREENE COUNTY SANITARY ENGINEER, AND SECURE ALL NECESSARY LICENSES AND PERMITS. THE CONTRACTOR SHALL INFORM THE GREENE COUNTY SANITARY ENGINEER OF ANY AND ALL CHANGES IN HIS CONSTRUCTION SCHEDULE.
- DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FOR ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL ADJACENT ROADS AND LAND.
- WHERE THE PLANS AND SPECIFICATIONS CALL FOR A SPECIFIC ITEM (SANITARY AND/OR WATER) OR AN "APPROVED EQUAL," ONLY THE GREENE COUNTY SANITARY ENGINEER SHALL MAKE THE DETERMINATION AS TO WHETHER AN ALTERNATE ITEM IS AN "APPROVED EQUAL."
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE DONE TO ADJACENT PROPERTIES OR ANY PROPERTY AFFECTED BY THE CONSTRUCTION WORK. THE CONTRACTOR SHALL TAKE SPECIAL EFFORT TO PROTECT EXISTING TREES AND/OR SHRUBS.
- NO CONSTRUCTION SHALL COMMENCE UNTIL THE CITY OF BEAVERCREEK ENGINEERING DEPARTMENT PERMITS HAVE BEEN ISSUED.
- NO ADDITIONS, DELETIONS OR REVISIONS TO THE SANITARY SEWER AND/OR WATER FACILITIES ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE GREENE COUNTY SANITARY DEPARTMENT.
- NO DIMENSIONS SHALL BE SCALED, REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ANY WELL, SEPTIC SYSTEM, ETC., ENCOUNTERED ON THIS PROJECT SHALL BE ABANDONED IN ACCORDANCE WITH THE LATEST ODEPA RULES AND REGULATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, DOWN SPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- SITE CONTRACTOR SHALL INSTALL ALL UTILITIES TO WITHIN 5' OF THE BUILDING, LIGHT POLES OR SIGNS AND SHALL COORDINATE LOCATION AND DEPTH WITH BUILDING CONTRACTOR.
- SITE CONTRACTOR SHALL PULL WIRE OUT TO THE SIGNS AND LIGHTS AND TERMINATE HIS WIRES ON A CIRCUIT IN THE ELECTRICAL PANEL. SITE CONTRACTOR IS RESPONSIBLE FOR CONNECTING ALL SIGNS AND TESTING.
- SITE CONTRACTOR SHALL PUT IN ALL TRANSFORMER PADS.
- ALL UTILITY SERVICE CONNECTIONS AND DOWNSPOUT CONNECTIONS FROM 5' OUTSIDE OF BUILDINGS TO BE MADE BY THE BUILDING CONTRACTOR.
- RIGHTS-OF-WAY, IN ADDITION TO DIRECT REQUIREMENTS OF THE CONTRACT SPECIFICATIONS, THE CONTRACTOR SHALL OBSERVE AND CONFORM TO THE SPECIFIC REQUIREMENTS OF ALL RIGHTS-OF-WAY, INCLUDING BUT NOT LIMITED TO, EASEMENTS, COURT ENTRIES, RIGHT OF ENTRY, OR ACTION FILED IN COURT, IN ACCORDANCE WITH THE CODE OF THE APPLICABLE GOVERNING AGENCY. THE COST OF THE OPERATIONS NECESSARY TO FULFILL SUCH REQUIREMENTS SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS OF THE CONTRACT.
- NOTICE TO BIDDERS, PRIOR TO ANY SUBSURFACE INVESTIGATION OR ON-SITE EXAMINATION OF THE PROJECT, ALL BIDDERS SHALL OBTAIN APPROVAL FROM THE OWNER.
- SLOPE: SLOPES GREATER THAN 3:1 SHALL BE COVERED WITH EROSION CONTROL MAT. MAT SHALL BE CONTACT ARO-MAT OR APPROVED EQUAL. IF MAT IS NOT BIODEGRADABLE THE CONTRACTOR SHALL REMOVE IT PRIOR TO THE FIRST MOWING. SLOPES WITHIN THIS DEVELOPMENT SHALL NOT EXCEED A MAXIMUM OF 3:1.
- ALL SIDEWALKS AND INTEGRAL CURBS AT SIDEWALKS ADJACENT TO THE BUILDINGS, LOADING DOCK SLAB, AND RETAINING WALLS ARE INCLUDED IN THE BUILDING PACKAGE. THE SITEMARK PACKAGE IS TO INCLUDE DOLLY PADS IF SHOWN ON PLANS, TRANSFORMER PADS, AND LIGHT POLE BASES.
- PERMITS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, AND LICENSE FEES.
- TESTING: THE OWNER SHALL PAY FOR ALL SITE COMPACTION TESTING, BUT CONTRACTOR SHALL PAY FOR ALL RETESTING REQUIRED.
- CONCRETE CURBS: ALL CURBS SHALL HAVE A MINIMUM OF 1/8" INCH CONSTRUCTION JOINTS CONSTRUCTED AT TEN FOOT INTERVALS. THE DEPTH OF THE JOINT SHALL AVERAGE TWO INCHES OR MORE. EXPANSION JOINT STRIPS THE DEPTH OF THE CURB SHALL BE USED AT THE BEGINNING AND END OF CURVES WHICH RADIUS IS LESS THAN 200 FEET AND WHENEVER IT BECOMES NECESSARY TO SUSPEND THE WORK FOR 30 MINUTES OR MORE.
- ALL JOINTS BETWEEN ASPHALT PAVEMENT AND CONCRETE WALK, CONCRETE PAVEMENT, CONCRETE LIGHT POLES AND IN CONCRETE CATCH BASINS SHALL BE SEALED NEATLY WITH ASPHALTIC CEMENT.

FLYING ACE CAR WASH INDIAN RIPPLE & COUNTY LINE RD.

LOCATED IN
SECTION 11 & 12, TOWN 2, RANGE 6 M.Rs.
CITY OF BEAVERCREEK, GREENE COUNTY, OHIO
FEBRUARY, 2016

GENERAL NOTES (CONT.)

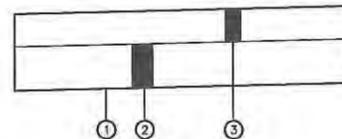
- SITE CONTRACTOR SHALL INSTALL SPIDER DRAINS AT ALL NEW CATCH BASINS.
- BUILDING PAD: UPON COMPLETING THE PAD FOR THE PROPOSED BUILDINGS THE CONTRACTOR SHALL SUBMIT VERIFICATION OF THE COMPACTION DENSITY OF THE CUT/FILL. THE BUILDING PAD SHALL BE CONSTRUCTED 10 FEET BEYOND THE PROPOSED BUILDING WALLS. THE CONTRACTOR SHALL COORDINATE THE STAKING OF THE PROPOSED BUILDING CORNERS WITH THE OWNER'S SURVEYOR.
- ALL STORM PIPE SHALL BE ADS N-12 OR APPROVED EQUAL AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- REFER TO ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS FOR EARTHWORK AND COMPACTION REQUIREMENTS FOR ALL SLABS AND BUILDING FOUNDATIONS.
- ALL ELEVATIONS IN PAVED AREAS ARE TOP OF CURB UNLESS OTHERWISE SHOWN OR NOTED.
- THE CONTRACTOR SHALL RECORD THE LOCATION OF ALL SANITARY AND WATER SERVICES INSTALLED. THIS RECORD SHALL BE KEPT ON A SET OF PLANS SUPPLIED TO HIM SPECIFICALLY FOR THIS PURPOSE. THESE PLANS SHALL BE RETURNED TO THE ENGINEER WHEN ALL SERVICES HAVE BEEN INSTALLED.
- ALL CATCH BASIN GRATES SHALL BE BIKE AND PEDESTRIAN SAFE.
- THE SITE CONTRACTOR SHALL COORDINATE WITH THE BUILDING CONTRACTOR IN ORDER TO PLACE THE EXCESS EXCAVATED MATERIAL FROM THE SLAB AND FOOTINGS EXCAVATION IN AN APPROPRIATE LOCATION.
- THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE LOCATION AND QUANTITY OF TOPSOIL TO BE STOCKPILED.
- THE SITE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH ODOT SPECIFICATION 618.
- THE CONTRACTOR SHALL PROHIBIT THE TRACKING OF MUD OFF-SITE AND SHALL PROVIDE THE NECESSARY EQUIPMENT INCLUDING, BUT NOT LIMITED TO, WASH STATIONS AND GRAVEL CONSTRUCTION DRIVES. SHOULD MUD OR ANY OTHER MATERIAL BE TRACKED OFF-SITE THE CONTRACTOR SHALL CLEAN IT UP AT HIS COST.
- ALL STRIPING SHALL BE DONE IN ACCORDANCE WITH ODOT 640 AND PAINT SHALL CONFORM TO ODOT 642.
- THE CONTRACTOR SHALL FIELD MARK AND PLUG THE END OF ALL UTILITY SERVICES, CONDUIT AND MAIN LINE STUBS IN SUCH A MANNER AS TO MAKE THESE LOCATIONS QUICKLY LOCATED.
- ODOT SPECIFICATIONS, JAN1991, ARE HEREBY MADE A PART OF THESE PLANS AND BID DOCUMENTS.
- CONTRACTOR SHALL SAVE SOME TREES AROUND BOUNDARY. THESE TREES TO BE COORDINATED WITH THE OWNER PRIOR TO START OF WORK. ALL OTHER TREES AND GROWTH TO BE REMOVED.
- IT SHALL BE THE SITE CONTRACTOR'S RESPONSIBILITY TO IMPORT OR REMOVE ANY EXCESS EARTH OR TOPSOIL WITH PAYMENT FOR THIS TO BE A PART OF CONTRACT.
- ANY PORTION OF THE SITE DISTURBED BY GRADING AND NOT FURTHER INCLUDED IN THE FIRST PHASE OF CONSTRUCTION SHALL BE PLANTED WITH APPROPRIATE GRASS COVERING AND PROPERLY MAINTAINED.
- EXTERIOR CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF 6:00 A.M. TO 10:00 P.M. MONDAY THRU SATURDAY.



VICINITY MAP
NTS

INDEX

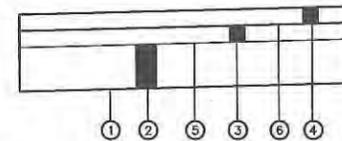
- COVER SHEET
- EXISTING TOPOGRAPHY PLAN
- SITE PLAN
- GRADING/UTILITY/EROSION CONTROL PLAN
- SITE LIGHTING PLAN
- LANDSCAPE PLAN
- DETAIL SHEET-1
- EROSION CONTROL NOTES



- ITEM 203 - SUBGRADE COMPACTION
- ITEM 304 - GRANULAR BASE ~ 6" COURSE
- ITEM 452 - 6" PORTLAND CEMENT CONCRETE (4000 PSI)
- ITEM 451 - 6" REINFORCED PORTLAND CEMENT CONCRETE (4000 PSI) (ITEM 451 SHALL BE USED IN THE DUMPSTER PAD AREA)

CONCRETE PAVEMENT SECTION

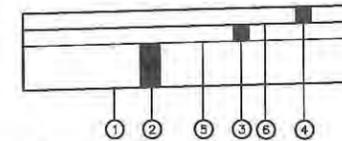
NTS
(THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES AND THE CONTRACTOR SHALL CONFIRM THE PAVEMENT SECTIONS WITH DEVELOPER PRIOR TO BID AND CONSTRUCTION)



- ITEM 203 - SUBGRADE COMPACTION
- ITEM 304 - GRANULAR BASE ~ 6" COURSE
- ITEM 448 - TYPE 2 ASPHALTIC CONCRETE ~ 2" COURSE INTERMEDIATE COURSE, PG 64-22
- ITEM 448 - TYPE 1 ASPHALTIC CONCRETE ~ 1.5" COURSE SURFACE COURSE, PG 64-22
- ITEM 408 - PRIME COAT @ 0.4 GAL/SY
- ITEM 407 - TACK COAT @ 0.04 GAL/SY (STANDARD DUTY)

PARKING AND DRIVE PAVEMENT SECTION

NTS
(THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES AND THE CONTRACTOR SHALL CONFIRM THE PAVEMENT SECTIONS WITH DEVELOPER PRIOR TO BID AND CONSTRUCTION)



- ITEM 203 - SUBGRADE COMPACTION
- ITEM 304 - GRANULAR BASE ~ 8" (2-4" COURSES)
- ITEM 448 - TYPE 2 ASPHALTIC CONCRETE ~ 3.0" COURSE INTERMEDIATE COURSE, PG 64-22
- ITEM 448 - TYPE 1 ASPHALTIC CONCRETE ~ 1.5" COURSE SURFACE COURSE, PG 64-22
- ITEM 408 - PRIME COAT @ 0.4 GAL/SY
- ITEM 407 - TACK COAT @ 0.04 GAL/SY

HEAVY DUTY PAVEMENT SECTION

NTS
(THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES AND THE CONTRACTOR SHALL CONFIRM THE PAVEMENT SECTIONS WITH DEVELOPER PRIOR TO BID AND CONSTRUCTION)

NO.	DATE	DESCRIPTION	BY

2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
ODOT UTILITIES PROTECTION SERVICE



JEFFREY A. VAN ATTA
OHIO PROFESSIONAL ENGINEER #53389
DATE

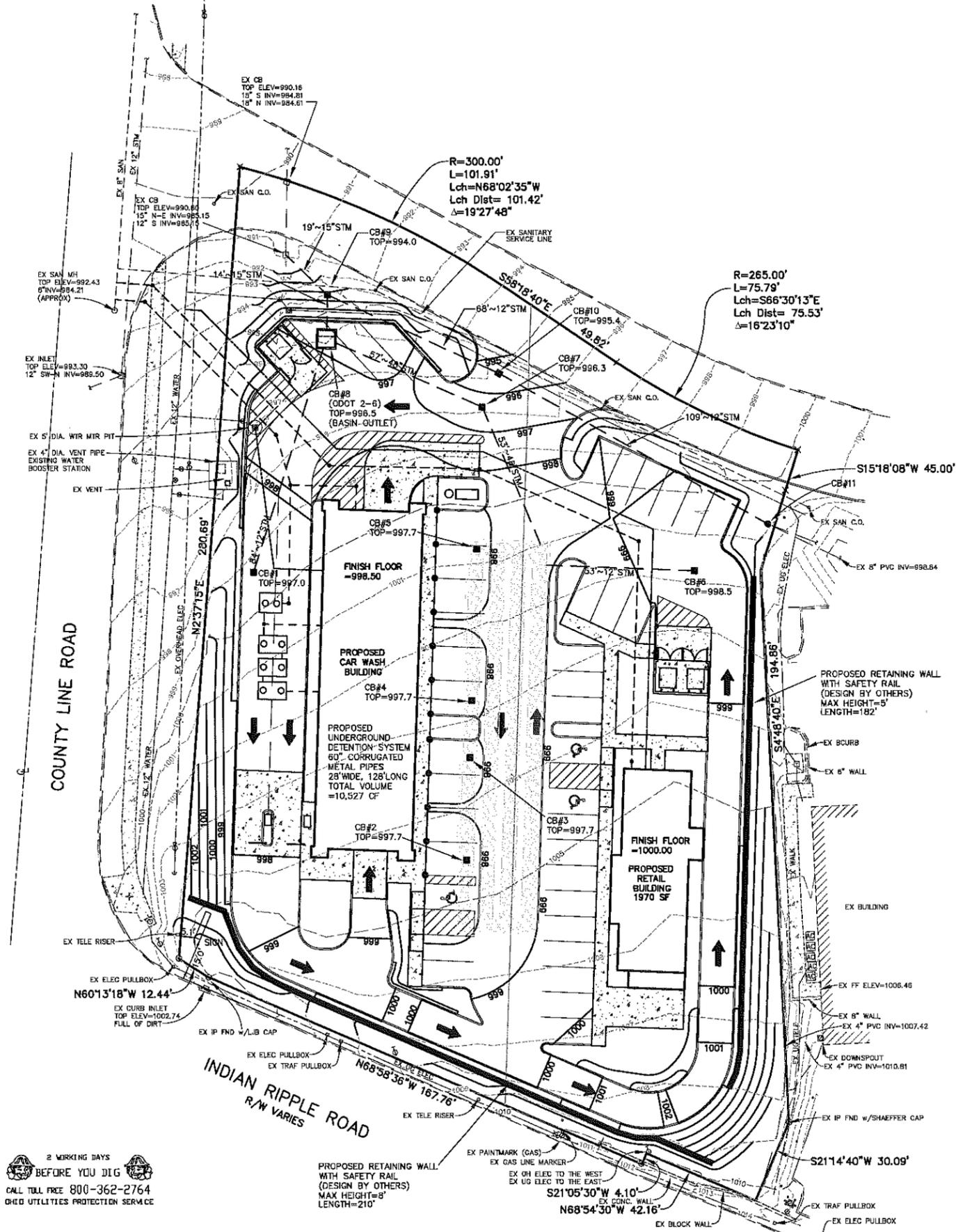
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FEB 24 2016

CITY OF BEAVERCREEK
PLANNING DEPARTMENT

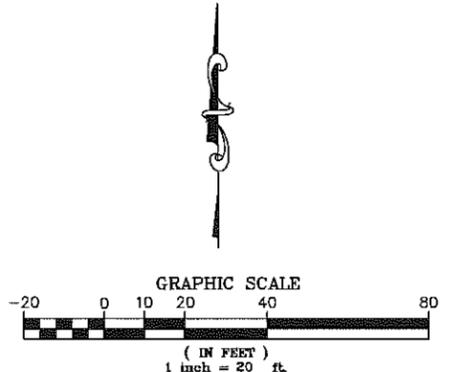
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H:\CAD00\Projects\Flying Ace Beaver Creek TOPO.DWG, FEB 23, 2016 - 15:58:36



STORMWATER DETENTION SIZING:
 PRE-DEVELOPED CONDITIONS
 TRIBUTARY AREA=1.10 ACRES
 CN=74 (OPEN SPACE-GOOD COND.)
 TYPE C SOILS
 Tc=10 MIN.
 POST-DEVELOPED CONDITIONS
 TRIBUTARY AREA=1.10 ACRES
 CN=93
 Tc=5 MIN.
 CRITICAL YEAR STORM=25 YEAR
 ESTIMATED STORAGE REQD=0.162 AC-FT
 WATER QUALITY VOLUME
 WQV=CxPxA/12
 WQV=0.8x0.75x(1.10/12)=0.055 AC-FT
 ESTIMATED TOTAL STORAGE=(0.162)+(0.055)=0.217 AC-FT
 9,453 CUBIC FEET
 VOLUME OF PROPOSED SYSTEM=10,500 CF

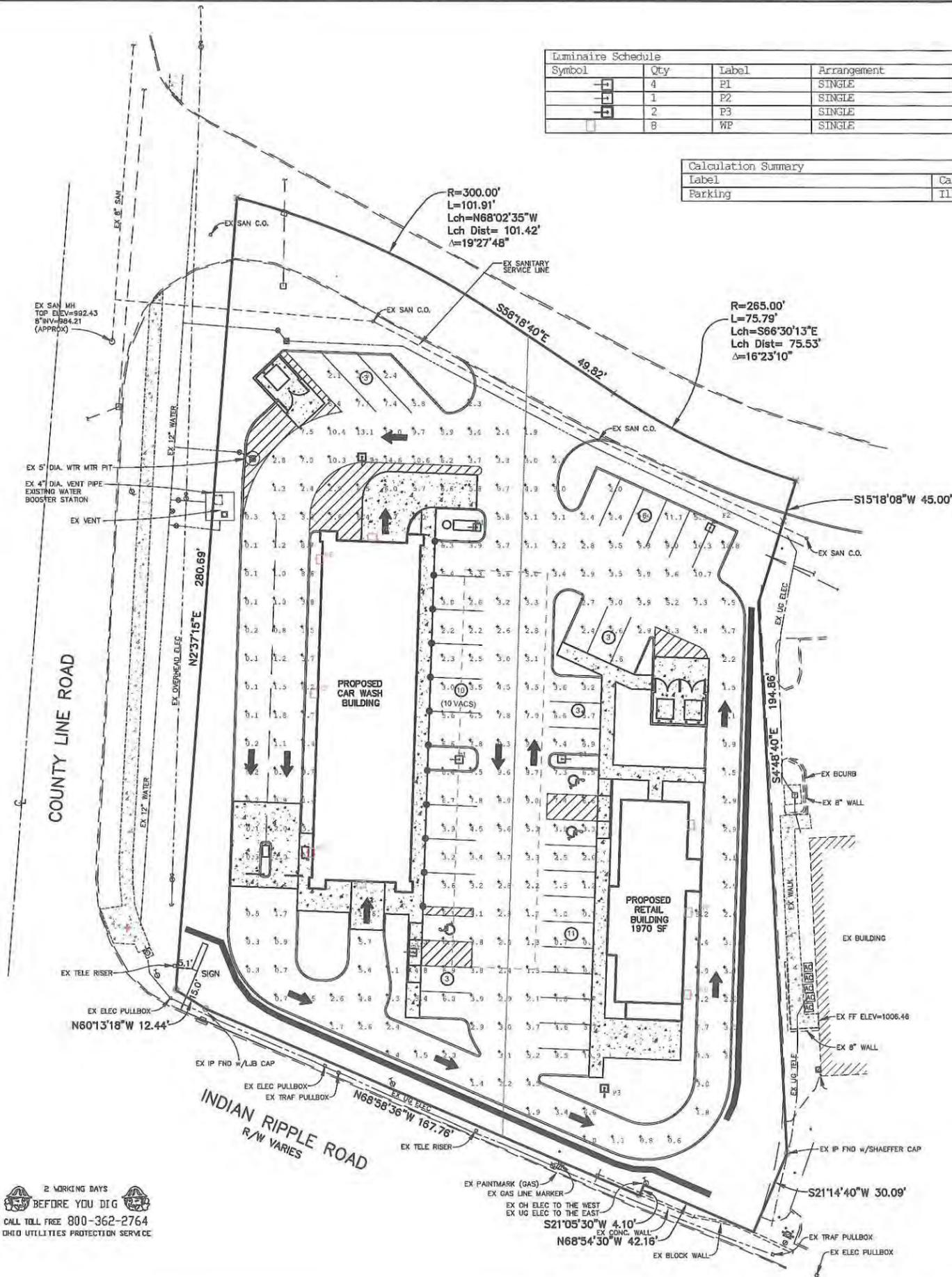
2 WORKING DAYS
 BEFORE YOU DIG
 CALL TOLL FREE 800-362-2764
 OHIO UTILITIES PROTECTION SERVICE



	NO. DATE REVISION
<p>GRADING/EROSION CONTROL PLAN FLYING ACE CAR WASH INDIAN RIPPLE & COUNTY LINE RD.</p> <p style="font-size: small;">LOCATED IN SECTION 11 & 12, TOWN 2, RANGE 6 M.R.G., CITY OF BEAVERCREEK, GREENE COUNTY, OHIO</p>	
<p>DATE: FEB. 2016 SCALE: 1"=20' PROJECT No. 5634 FILE No. SHEET No.</p>	
4 of 8	

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Filename
[Symbol]	4	P1	SINGLE	N.A.	0.850	1ST XGRM-5-LED-HO-CW at 20' AFG	XGRM-5-LED-HO-CW.IES
[Symbol]	1	P2	SINGLE	N.A.	0.850	1ST XGRM-FT-LED-HO-CW at 20' AFG	XGRM-FT-LED-HO-CW.IES
[Symbol]	2	P3	SINGLE	N.A.	0.850	1ST XGRM-3-LED-HO-CW at 20' AFG	XGRM-3-LED-HO-CW.IES
[Symbol]	8	WP	SINGLE	N.A.	0.850	1ST XGRM3-WT-LED-48-350-CW-UE at 11' AF	XGRM3-WT-LED-48-350-CW-UE.ies

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking	Illuminance	Fc	4.21	18.8	0.1	42.10	188.00

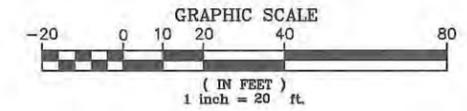


PLAN PREPARED BY OTHERS

SITE LIGHTING PLAN
FLYING ACE CAR WASH
INDIAN RIPPLE & COUNTY LINE RD.

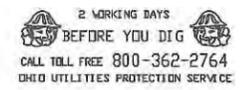
LOCATED IN SECTION 11 & 12, TOWN 2, RANGE 6 M.Rs. CITY OF BEAVERCREEK, GREENE COUNTY, OHIO

DATE: FEB. 2016
 SCALE: 1"=20'
 PROJECT No. 5634
 FILE No.
 SHEET NO.



NO.	DATE	REVISION

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SEDIMENT AND EROSION CONTROL FOR COMPLIANCE WITH OEPA'S INDIVIDUAL LOT PERMIT FOR CONSTRUCTION

PRESERVING EXISTING VEGETATION

Whenever possible, preserve existing trees, shrubs and other vegetation. To prevent root damage, do not grade, place soil piles, or park vehicles near trees marked for preservation.

STRAW BALE OR SILT FENCE

Put up before any other work is done. Install on downslope side(s) of site with ends extended up slopes a short distance. Place parallel to the contour of the land to allow water to pond behind fence. Entrench 6 inches deep (see back page). Stake (2 stakes per bale or 1 stake every 3 feet for silt fence). Leave no gaps between bales or sections of silt fence. Inspect and repair once a week and after every 1/2 inch rain. Remove sediment if deposits reach half the fence or straw bale height. Maintain until a lawn is established.

SOIL PILES

Located away from any downslope street, driveway, stream, lake wetland, ditch or drainage way. Temporary seed such as annual rye is recommended for topsoil piles. Surround with straw bales or silt fence.

GRAVEL DRIVE

Install a single access drive using 3 to 5 inch aggregate over a geotextile material. Lay gravel 6 inches deep and 10 feet wide from the foundation to the street. Use to prevent tracking dirt onto the road by all vehicles. Maintain throughout construction until driveway is paved. Park all construction vehicles on the street and off of the site.

SEDIMENT CLEANUP

By the end of each work day, sweep or scrape up soil tracked onto the road. By the end of the next work day after a storm, clean up soil washed off-site, and check straw bales and silt fence for damage or sediment buildup.

DOWNSPOUT EXTENDERS

Not required, but highly recommended. Install as soon as gutters and downspouts are completed. Route water to a grassed area. Maintain until a lawn is established.

REVEGETATION

Disturbed soils shall be stabilized as quick as practicable with temporary vegetation and/or mulching to protect exposed critical areas during development. Temporary mulch is to be applied at the rate of 2-3 bales of straw per 1000 sq. ft.

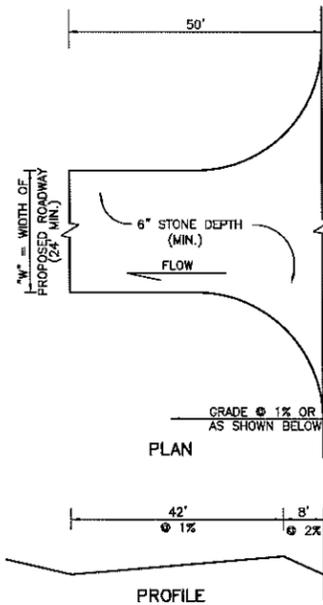
SEEDING AND MULCHING

Spread 4 to 6 inches of topsoil. Fertilize according to soil test (or apply 10 lb./1000 sq. ft. of 20-10-10 or 10-10-10 fertilizer). Seed with an appropriate mix for the site (see table). Rake lightly to cover seed with 1/4" of soil. Roll lightly. Mulch with straw (2-3 bales per 1000 sq. ft.) from March 15 to August 31. Anchor mulch by punching 2 inches into the soil with a dull, weighted disk or by using netting or other measures on steep slopes and windy areas.

SODDING

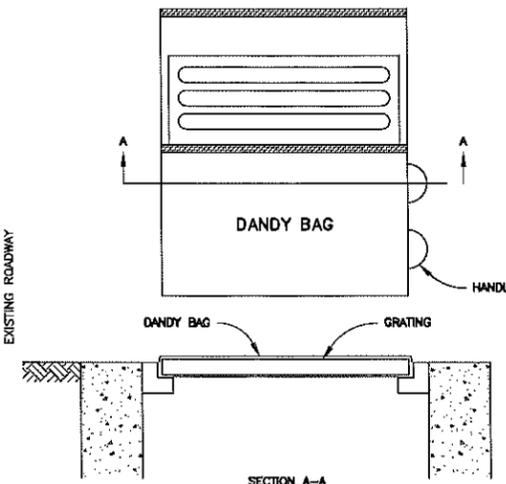
Spread 4 to 6 inches of topsoil. Fertilize according to soil test (or apply 10 lb./1000 sq. ft. of 20-10-10 or 10-10-10 fertilizer). Lightly water the soil. Lay sod. Tamp or roll lightly. On slopes, lay sod starting at the bottom and work toward the top. Peg each piece down in several places. Initial watering should wet soil 6 inches deep (or until water stands 1 inch deep in a straight-sided container). Then water lightly every day or two for 2 weeks.

If construction is completed after August 31, seeding or sodding may be delayed. Applying mulch or temporary seed (such as rye or winter wheat) is required from September 1 to March 15. Straw bales or silt fences must be maintained until final seeding is completed in spring March 15 - May 31.



1. STONE SIZE SHALL CONFORM TO ASTM D48 SIZE #1 (1 1/2" TO 3 1/2" DIA.).
2. PERIODIC 2" STONE TOP DRESSING & WASHING AS REQUESTED BY COUNTY.

TEMPORARY CONSTRUCTION ENTRANCE DETAIL
NTS



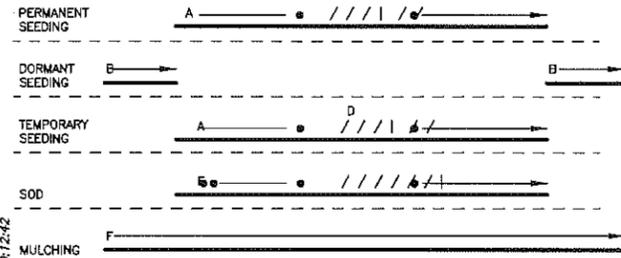
INSTALLATION: STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. FLIP GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

MAINTENANCE: AFTER SILT HAS DRIED, REMOVE IT FROM THE SURFACE OF DANDY BAG WITH BROOM.

DANDY BAG
NTS

SEEDING SCHEDULE

STABILIZATION PRACTICE: JAN. FEB. MAR. APR. MAY JUNE JULY AUG. SEPT. OCT. NOV. DEC.



- A = KENTUCKY BLUEGRASS @ 90 LBS./ACRE MIXED WITH PERENNIAL RYEGRASS @ 30 LBS./ACRE PLUS 2 TONS OF STRAW MULCH/ACRE
- B = KENTUCKY BLUEGRASS @ 135 LBS./ACRE MIXED WITH PERENNIAL RYEGRASS @ 45 LBS./ACRE PLUS 2 TONS/ACRE STRAW MULCH
- C = SPRING OATS 100 LBS./ACRE
- D = WHEAT OR RYE 150 LBS./ACRE
- E = SOD
- F = STRAW MULCH (2 TONS/ACRE)

- / / ● IRRIGATION NEEDED DURING JUNE AND JULY
- ● IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

INSPECTION SCHEDULE

DIVERSION AND STRUCTURAL MEASURES - WILL BE INSPECTED AT SEVEN (7) DAY INTERVALS OR AFTER EVERY RAIN STORM PRODUCING RUNOFF.

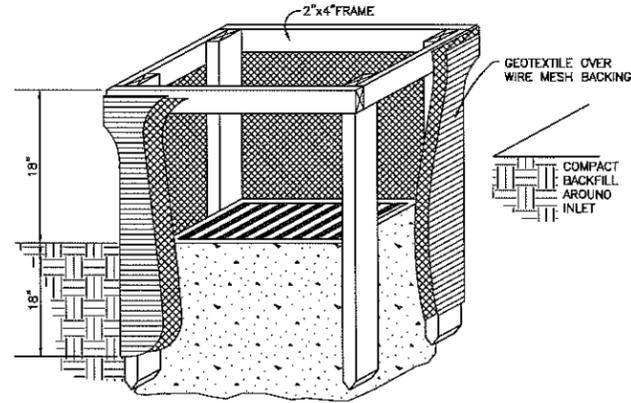
SEDIMENT AND PONDS - WILL BE CHECKED AFTER EACH MAJOR PHASE OF THE DEVELOPMENT FOR SEDIMENT ACCUMULATION.

VEGETATIVE PLANTING - SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.

REPAIRS - ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES, OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN SEVEN (7) DAYS.

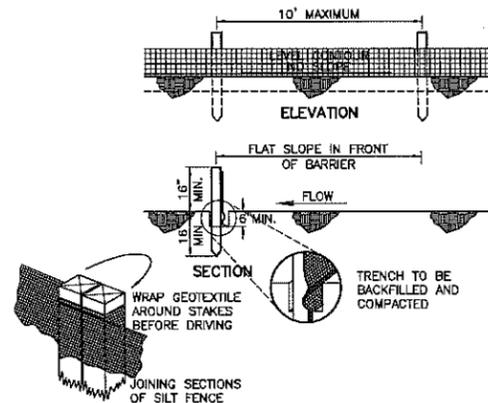
MOWING - DRAINAGEWAYS, DITCHES AND OTHER AREAS THAT SUPPORT A DESIGNED FLOW OF WATER WILL BE MOWED REGULARLY TO MAINTAIN THAT FLOW.

FERTILIZATION - SEEDED AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER WILL BE INSPECTED AND FERTILIZED AS NECESSARY.



- 1) INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL.
- 2) THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
- 3) THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4 INCH CONSTRUCTION-GRADE LUMBER. THE 2-BY-4 INCH POSTS SHALL BE DRIVEN 1 FOOT INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4 INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
- 4) WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- 5) GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 30-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- 6) BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- 7) A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

INLET PROTECTION
(IN SWALES, DITCH LINES OR YARD INLETS)
NTS



CONSTRUCTION OF A FILTER BARRIER (SILT FENCE)
NTS

A Timing of Sediment-Trapping Practices
Sediment control practices shall be functional throughout earth-disturbing activity.

Setting facilities, perimeter controls, and other practices intended to trap sediment shall be implemented as the first step of grading and within seven (7) days from the start of earth disturbing activities. They shall continue to function until the upslope development area is restabilized.

B Stabilization of Denuded Areas.
Denuded areas shall have soil stabilization applied within seven days if they are to remain dormant for more than forty-five (45) days. Permanent or temporary soil stabilization shall be applied to denuded areas within seven (7) days after final grade is reached on any portion of the site, and shall also be applied within seven (7) days to denuded areas which may not be at final grade, but will remain dormant (undisturbed) for longer than forty-five (45) days.

C Settling Facilities.
Concentrated stormwater runoff from denuded areas shall pass through a sediment-settling facility.

The facility's storage capacity shall be sixty-seven (67) cubic yards per acre of drainage area.

D Sediment Barriers
Sheet flow runoff from denuded areas shall be filtered or diverted to a settling facility.

Sediment barriers such as sediment fence or diversions to settling facilities shall protect adjacent properties and water resources from sediment transported by sheet flow.

E Storm Sewer Inlet Protection.
All storm sewer inlets which accept water runoff from the development area shall be protected so that sediment-laden water from soils that are not permanently stabilized will not enter the storm sewer system without first being filtered or otherwise treated to remove sediment, unless the storm sewer system drains to a settling facility.

F Working In or Crossing Streams.

1 Streams including bed and banks shall be restabilized immediately after in-channel work is completed, interrupted, or stopped.

To the extent practicable, construction vehicles shall be kept out of streams where in-channel work is necessary, precautions shall be taken to stabilize the work area during construction to minimize erosion.

2 If a live (wet) stream must be crossed by construction vehicles regularly during construction, a temporary stream crossing shall be provided.

G Construction Access Routes.

Measures shall be taken to prevent soil transport onto surfaces where runoff is not checked by sediment controls, or onto public roads.

H Sloughing and dumping.

1 No soil, rock, debris, or any other material shall be dumped or placed into a water resource or into such proximity that it may readily slough, slip, or erode into a water resource unless such dumping or placing is authorized by the approving agency, and, when applicable, the U.S. Army Corps of Engineers, for such purposes as, but not limited to, construction bridges, culverts, and erosion control structures.

2 Unstable soils prone to slipping or landsliding shall not be graded, excavated, filled or have roads imposed upon them unless the work is done in accordance with a qualified professional engineer's recommendations to correct, eliminate, or adequately address the problems.

I Cut and Fill Slopes.

Cut and fill slopes shall be designed and constructed in a manner which will minimize erosion. Consideration shall be given to the length and steepness of the slope, soil type, upslope drainage area, groundwater conditions, and slope stabilization.

J Stabilization of Outfalls and Channels.

Outfalls and constructed or modified channels shall be designed and constructed to withstand the expected velocity of flow from a post-development, ten-year frequency storm or critical year storm whichever is greater without eroding.

K Establishment of permanent Vegetation.

A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent vegetation shall not be considered established until ground cover is achieved which, in the opinion of the approving agency, provides adequate cover and is mature enough to control soil erosion satisfactorily and to survive adverse weather conditions.

L Disposition of Temporary Practices.

All temporary erosion and sediment control practices shall be disposed of within thirty (30) days after final site stabilization is achieved or after the temporary practices are no longer needed, unless otherwise authorized by the approving agency. Trapped sediment shall be permanently stabilized to prevent further erosion.

M Maintenance.

All temporary and permanent erosion and sediment control practices shall be designed and constructed to minimize maintenance requirements. They shall be maintained and repaired as needed to assure continued performance of their intended function. The person or entity responsible for the continued maintenance of permanent erosion controls shall be identified to the satisfaction of the approving agency.

NO. DATE REVISION

STATE OF OHIO
JEFFREY VAN ATTA
E-53389
REGISTERED PROFESSIONAL ENGINEER

VANATTA ENGINEERING
770 Congress Park Dr • Dayton, OH 45424
Phone 513.485.5500
Fax 513.485.5865

DETAIL SHEET - 1
FLYING ACE CAR WASH
INDIAN RIPPLE & COUNTY LINE RD.
LOCATED IN SECTION 11 & 12, TOWN 2, RANGE 6 S. E. 1/4, CITY OF BEAVERCREEK, GREENE COUNTY, OHIO

DATE: FEB. 2016
SCALE: 1"=20'
PROJECT No. 5634
FILE No.
SHEET NO.

7 of 8

STORM WATER POLLUTION PREVENTION PLAN NOTES

- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO: SWPPP AND DETAIL PLANS; ACCORDING TO THE LATEST OHIO EPA AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES); ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS. SEE OHIO EPA PERMIT NO. OH000004 FOR SWPPP RULES AND REGULATIONS. ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT. EVERY EFFORT SHALL BE MADE TO PRESERVE THE NATURAL RIPARIAN SETBACK ADJACENT TO STREAMS OR OTHER SURFACE WATER BODIES.
- SEDIMENT STRUCTURE AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS RESTABILIZED. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.
- TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOO, PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE REMAINING DORMANT FOR OVER FOURTEEN (14) DAYS.
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN FOURTEEN (14) DAYS.
PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER.
- PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE MULCHING, MATTING, SOO, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.
WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
- TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:
SEEDING: ANNUAL RYEGRASS AT 2.02 #/1,000 S.F.
MULCHING: STRAW MATERIAL SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT A RATE OF TWO (2) TON/ACRE, OR 60-100 POUNDS PER 1,000 S.F. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITIVE NOXIOUS WEEDS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICAL MEANS. FROM NOVEMBER 01 THRU MARCH 15 INCREASE THE RATE OF STRAW MULCH TO THREE (3) TON/ACRE.
FERTILIZER: APPLY FERTILIZER AT HALF THE RATE OF PERMANENT APPLICATION AND AS PER STATE DOT SPECIFICATIONS. IF PROJECT CONDITIONS PREVENT FERTILIZING THE SOIL, THEN THIS ITEM MAY BE WAIVED.
- PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH ODOT STANDARD SPECIFICATIONS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEEDED, AND CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY, NORTH AMERICAN GREEN, INC. OR AN APPROVED EQUAL AS SPECIFIED IN THE PLANS SHALL BE INSTALLED ON THE SLOPES.
- OHIO EPA SWPPP REGULATIONS REQUIRES THAT A SEDIMENT TRAP OR POND BE SIZED TO PROVIDE AT LEAST 104 CUBIC YARDS (67 CY FOR DEWATERING AND 37 CY FOR SEDIMENT STORAGE) OF STORAGE PER ACRE OF TOTAL CONTRIBUTING AREA. MAXIMUM DEPTH OF SEDIMENT SETTLING POND SHALL BE EQUAL OR LESS THAN 5- FEET WITH A LENGTH TO WIDTH RATIO GREATER THAN OR EQUAL TO 2:1)
- OUTLET STRUCTURES IN SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT MUST BE REMOVED FROM BASINS AND OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 40% (APPROXIMATELY ONE-HALF OF POND DEPTH).
- NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF.
- ALL TOXIC WASTES, HAZARDOUS WASTES AND NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR OILED AREAS, WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OFF-SITE WHEN THEY HARDEN. STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIKED AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE. NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED INTO STORM DRAINS, SEPTIC TANKS OR BY BURYING, BURNING OR MIXING THE WASTES.
- CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
- CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.
- ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN AN OHIO EPA APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE 3745-2D).
- AREA SHALL BE DESIGNATED FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE. THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- A SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.
- ALL DESIGNATED CONCRETE CHUTE OR WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS OR OTHER STORMWATER DRAINAGE AREAS.
- THERE IS A POTENTIAL FOR HIGH GROUND WATER AT THIS SITE. CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND IMPLEMENTING A PLAN TO CONTROL BOTH SURFACE AND GROUND WATER DURING THE COURSE OF CONSTRUCTION.
- DISCHARGE OF WATER WITH POTENTIAL SEDIMENT FROM THE SITE SHALL BE THROUGH A FILTER BAG, SUMP PIT OR OTHER SEDIMENT REMOVAL DEVICE.
- ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).
- IF THE SITE CONTAINS CONTAMINATED SOIL, THE FOLLOWING SHALL BE USED TO PREVENT CONTAMINATION FROM BEING RELEASED:
1. BERMS, TRENCHES AND PITS TO COLLECT CONTAMINATED RUNOFF AND PREVENT DISCHARGES.
2. PUMPING RUNOFF INTO A SANITARY SEWER (WITH PRIOR APPROVAL OF THE SANITARY SYSTEM OPERATOR) OR INTO A CONTAINER FOR TRANSPORT TO AN APPROPRIATE TREATMENT/DISPOSAL FACILITY.
3. COVERING AREAS OF CONTAMINATION WITH TARPS OR OTHER METHODS THAT PREVENT STORM WATER FROM COMING INTO CONTACT WITH THE MATERIAL.

STRUCTURAL BMP LONG-TERM MAINTENANCE (GENERAL NOTES)

- THE OWNER AGREES TO MAINTAIN IN PERPETUITY THE STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH APPROVED MAINTENANCE PLANS LISTED IN #2 BELOW AND IN A MANNER THAT WILL PERMIT THE STORM WATER MANAGEMENT PRACTICES TO PERFORM THE PURPOSES FOR WHICH THEY WERE DESIGNED AND CONSTRUCTED. THIS INCLUDES ALL PIPES, STRUCTURES, IMPROVEMENTS, AND VEGETATION PROVIDED TO CONTROL THE QUANTITY OF THE STORM WATER.
- NO ALTERATIONS TO THE WATER QUALITY/RETENTION BASINS WITHOUT APPROVAL FROM THE JURISDICTIONAL REVIEWING AUTHORITY.
- THE OWNER SHALL PROVIDE A MAINTENANCE PLAN FOR EACH STORM WATER MANAGEMENT PRACTICE. THE MAINTENANCE PLANS SHALL INCLUDE A SCHEDULE FOR MONTHLY AND ANNUAL MAINTENANCE. THE OWNER SHALL MAINTAIN, UPDATE AND STORE THE MAINTENANCE RECORDS FOR THE STORM WATER MANAGEMENT PRACTICES. THE SPECIFIC MAINTENANCE PLANS FOR EACH STORM WATER MANAGEMENT PRACTICE ARE AS FOLLOWS.

MAINTENANCE TO BE COMPLETED EVERY 3 MONTHS

- REMOVE TRASH AND/OR ACCUMULATED SEDIMENT FROM POND AREA.
- REMOVE OBSTRUCTIONS IN ORIFICES AND/OR OUTLETS WITHIN POND.
- REMOVE DEBRIS AND SEDIMENT FROM INLET PIPES, OUTLET PIPES AND STRUCTURES.

MAINTENANCE TO BE COMPLETED YEARLY

- REPAIR EROSION TO OUTFALL OR SPILLWAY OF THE POND
- REPAIR AND/OR REPLACE DAMAGED STRUCTURES, SUCH AS CATCH BASINS, RISERS, PIPES AND HEADWALLS.
- MOW EMBANKMENTS AND REMOVE WOODY VEGETATION ON EMBANKMENTS

YEARLY REPORT REQUIREMENTS

SKETCH SHOWING GENERAL AREA OF BMP'S, SUMMARY OF ALL MAINTENANCE ACTIVITIES SINCE LAST ANNUAL INSPECTION, PHOTOS AND DESCRIPTION OF ALL BMP DESIGN FEATURES, INDICATION OF ANY DEVIATION FROM APPROVED PLAN FOR BMP, IDENTIFICATION OF IMPROVEMENTS NECESSARY TO RESTORE ORIGINAL DESIGN FUNCTION, MAINTENANCE ACTIVITIES REQUIRED IN THE NEXT 6 MONTHS, IDENTIFICATION AND CONTACT INFORMATION OF ENTITY RESPONSIBLE FOR BMP, AND IDENTIFICATION AND CONTACT INFORMATION FOR ENGINEER PREPARING THE REPORT INCLUDING SIGNATURE AND SEAL.

SEQUENCE OF CONSTRUCTION

- CONDUCT PRE-CONSTRUCTION MEETING
- INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING CONSTRUCTION ENTRANCE, SEDIMENT TRAPS, ROCK CHECK DAMS, INLET PROTECTION & SILT FENCE.
- CONSTRUCT TEMPORARY PARKING AND STORAGE AREA.
- PERFORM CLEARING AND GRUBBING AS NECESSARY.
- BEGIN GRADING THE SITE. MAKING SURE THAT EROSION CONTROL MEASURES ARE IN PLACE AND WORKING PROPERLY THROUGHOUT GRADING OPERATIONS.
- APPLY TEMPORARY SOIL STABILIZATION WITHIN (7) DAYS OF EXCAVATION.
- BEGIN CONSTRUCTION OF ALL UTILITIES INCLUDING STORM SEWER. INSTALL INLET PROTECTION CONCURRENT WITH CONSTRUCTION OF PROPOSED STORM STRUCTURES.
- BEGIN CONSTRUCTION OF BUILDING PADS AND STRUCTURES.
- BEGIN CONSTRUCTION OF STREETS. INSTALL CURB AND GUTTER. PREPARE FOR PAVING.
- PERMANENTLY SEED AND MULCH & LANDSCAPE REMAINDER OF PVIOUS AREAS. PERMANENT SEEDING SHALL BE INSTALLED WITHIN (7) DAYS OF COMPLETION OF FINAL GRADING IN UNPAVED AREAS.
- PAVE SITE.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SITE ACHIEVES "FINAL STABILIZATION"

STORM WATER POLLUTION PREVENTION PLAN NOTES (CONT.)

- IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION WILL BE UNDERTAKEN BY THE GENERAL CONTRACTOR TO CONTAIN AND REMOVE THE SPILLED MATERIAL. ALL HAZARDOUS MATERIALS, INCLUDING CONTAMINATED SOIL AND LIQUID CONCRETE WASTE, WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY FEDERAL, STATE AND LOCAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. AS SOON AS POSSIBLE, THE SPILL WILL BE REPORTED TO THE APPROPRIATE AGENCIES. AS REQUIRED UNDER THE PROVISIONS OF THE CLEAN WATER ACT, ANY SPILL OR DISCHARGE ENTERING WATERS OF THE UNITED STATES WILL BE PROPERLY REPORTED. THE GENERAL CONTRACTOR WILL PREPARE A WRITTEN RECORD OF ANY SPILL AND ASSOCIATED CLEAN-UP ACTIVITIES OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF 1 GALLON OR REPORTABLE QUANTITIES, WHICH EVER IS LESS.
- THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800.282.9378, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.
- OPEN BURNING IS NOT PERMITTED ON THE SITE.
- DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. DUST SUPPRESSANTS SHALL NOT BE APPLIED NEAR CATCH BASINS FOR STORM SEWERS OR OTHER DRAINAGE WAYS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
- APPROPRIATE MEASURES MUST BE TAKEN TO ENSURE THAT ALL PROPER AIR POLLUTION PERMITS ARE OBTAINED.
- PROCESS WASTEWATERS (EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL AND CONCRETE WASH-OUTS) SHALL BE COLLECTED AND DISPOSED OF PROPERLY.
- SANITARY AND WATER PII FORMS SHALL BE FILED WITH THE OHIO EPA AS REQUIRED.
- PROTECTED STORAGE AREAS SHALL BE USED FOR INDUSTRIAL AND CONSTRUCTION MATERIALS IN ORDER TO MINIMIZE THE EXPOSURE OF SUCH MATERIALS TO STORMWATER.
- ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:
- INSPECTIONS OF BMP'S SHALL BE PERFORMED BY QUALIFIED PERSONS PROVIDED BY THE PERMITTEE AND THE INSPECTION LOGS ARE TO BECOME A PART OF THIS PLAN. INSPECTIONS RECORDS SHALL BE SIGNED BY THE INSPECTOR AND WILL BE KEPT FOR 3 YEARS AFTER THE NOTICE OF TERMINATION IS SUBMITTED.
- INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE IN EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR PERIOD, FROM THE BEGINNING OF CONSTRUCTION THROUGH THE FINAL INSPECTION PRIOR TO THE NOTICE OF TERMINATION.
- NON-SEDIMENT POND BMP'S TO BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT POND BMP'S WITHIN 10 DAYS OF INSPECTION. BMP'S NOT MEETING THE INTENDED FUNCTION SHALL BE REPLACED WITHIN 10 DAYS OF INSPECTION. MISSING BMP'S SHALL BE INSTALLED WITHIN 10 DAYS OF INSPECTION.
- IF THE SITE IS STABILIZED AND WILL BE DORMANT FOR A LONG PERIOD OF TIME, LESS FREQUENT INSPECTIONS MAY BE REQUESTED OF THE OEPA VIA A WAIVER REQUEST.
- INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
- SILT FENCES, INLET PROTECTION, SILT DIKES AND PERVIOUS LOGS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT ACCUMULATION MUST BE REMOVED WHEN SEDIMENT HEIGHT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE, INLET PROTECTION, SILT DIKE AND PERVIOUS LDG.
- MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED AND IN GOOD WORKING ORDER AT ALL TIMES; THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION ENTRANCE DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, INCLUDING DETENTION PONDS, AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
- ALL RIP RAP MUST BE PLACED OVER GEOTEXTILE FILTER.
- STONE CONSTRUCTION ENTRANCE TO BE MAINTAINED BY CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.
- ALL CATCH BASIN GRATES ARE TO BE PROTECTED WITH INLET BAGS AFTER THEY ARE INSTALLED. THEY SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
- ROCK CHECK DAMS SHOULD BE ROUTINELY CLEANED ONCE SEDIMENT BEGINS TO APPEAR ON THE UPSTREAM SIDE OF THE ROCK.
- ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- CONTRACTOR TO DELINEATE STOCK PILE LOCATION ON PLANS TO BE KEPT ON SITE DURING CONSTRUCTION.
- CONSTRUCT STOCKPILES IN ACCESSIBLE LOCATIONS THAT DO NOT INTERFERE WITH NATURAL DRAINAGE. INSTALL APPROPRIATE SEDIMENT CONTROLS TO TRAP SEDIMENT SUCH AS SILT FENCE IMMEDIATELY ADJACENT TO THE STOCKPILE OR SEDIMENT TRAPS OR BASINS DOWNSTREAM OF STOCKPILE. STOCKPILE SIDE SLOPES SHALL NOT EXCEED A RATIO OF 2:1.
- IF STOCKPILE IS STORED FOR MORE THAN 14 DAYS, IT SHOULD BE TEMPORARY SEEDED, OR COVERED WITH A TARP.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY; THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.
- THE LAST LAYER OF SOIL, INCLUDING TOP SOIL SHOULD BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY, IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION. THIS IS PARTICULARLY IMPORTANT IN CUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY; THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.
- THE POST CONSTRUCTION REQUIREMENTS OF OHIO EPA PERMIT OH000004 SHALL BE MET BY THE WATER QUALITY BASIN.

H:\CAD\Projects\Flying Ace Beaver Creek\FA Beaver Creek Topo.DWG, FEB 11, 2016 - 10:12:42

NO.	DATE	REVISION



JEFFREY A. VAN ATTA
E-53389
PROFESSIONAL ENGINEER



VANATTA ENGINEERING INC.
570 Congress Pkwy • Dayton, OH 45459
Phone: 937.439.9593
Fax: 937.439.9545

EROSION CONTROL NOTES

FLYING ACE CAR WASH

INDIAN RIPPLE & COUNTY LINE RD.

LOCATED IN RANGE 6 N.R. 2, SECTION 11 & 12, TOWN 2, CITY OF BEAVERCREEK, GREENE COUNTY, OHIO

DATE: FEB, 2016
 SCALE: 1"=20'
 PROJECT No. 5634
 FILE No. _____
 SHEET No. _____

8 of 8



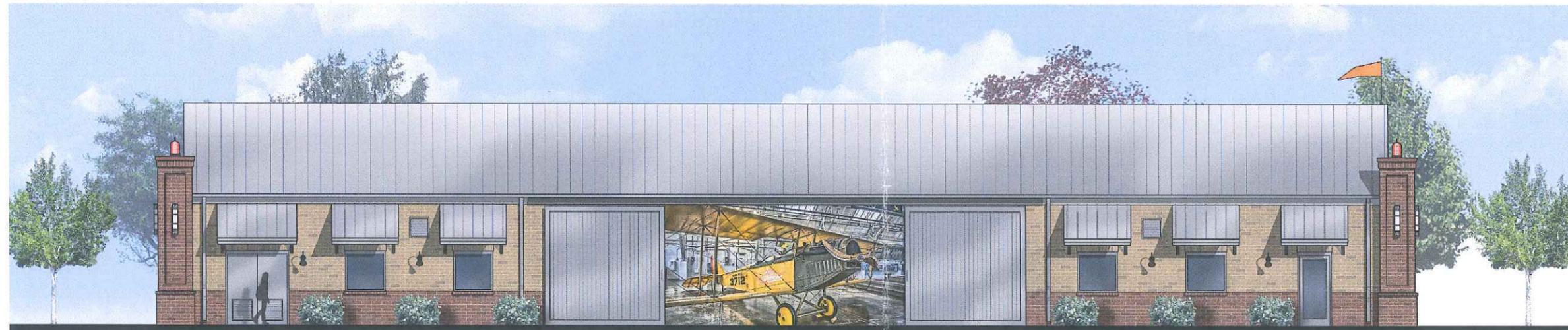
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Scale: 3/16" = 1'-0"



Entrance Elevation
Scale: 3/16" = 1'-0"



Side Elevation
Scale: 3/16" = 1'-0"



Side Elevation
Scale: 3/16" = 1'-0"

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FEB 17 2016

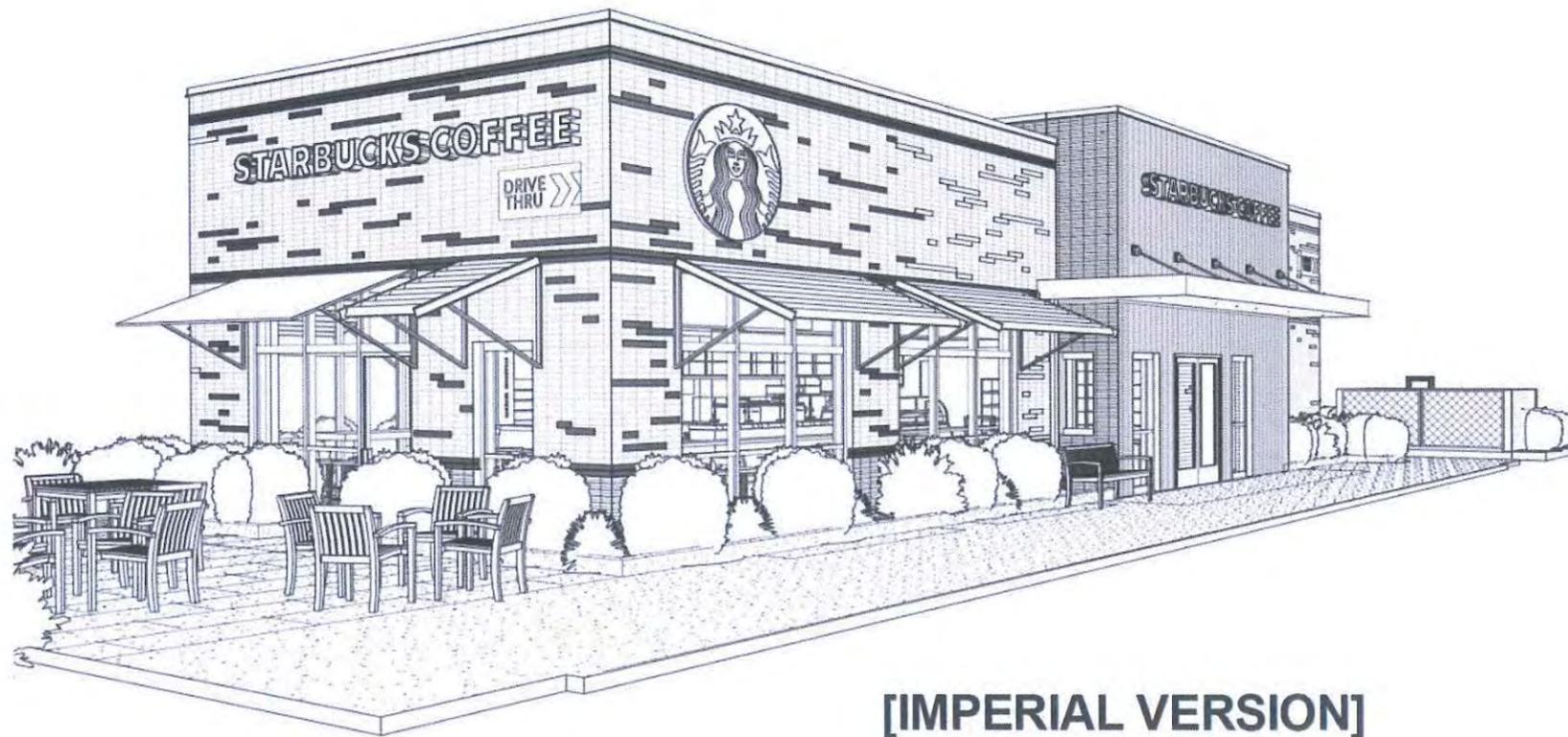
CITY OF BEAVERCREEK
PLANNING DEPARTMENT

SBA
STUDIOS
ARCHITECTURAL DESIGN
614.562.7761 WWW.SBA-STUDIOS.COM

FLYING ACE EXPRESS CAR WASH



**Starbucks Coffee
Company
2401 Utah Avenue South
Seattle, Washington 98134
(206) 318-1575**



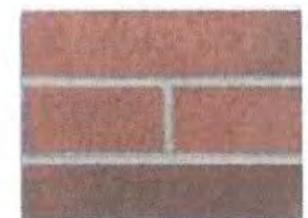
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FEB 08 2016

**CITY OF BEAVERCREEK
PLANNING DEPARTMENT**



Autumn Blend



Heritage Blend



Starbucks Coffee Company
 2401 Utah Avenue South
 Seattle, Washington 98134
 (206) 318-1575

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Architect of Record

This drawing is a Design Development Document. Site specific modifications made under the responsible charge of the Architect and/or Engineer-of-Record will be required prior to using this document for Bidding, Permitting, or Construction.

Revision Schedule

Rev	Date	By	Description

Project Name:
**DESIGN DEVELOPMENT
 SINGLE TENANT BUILDING
 PROTOTYPE SET V3.1**

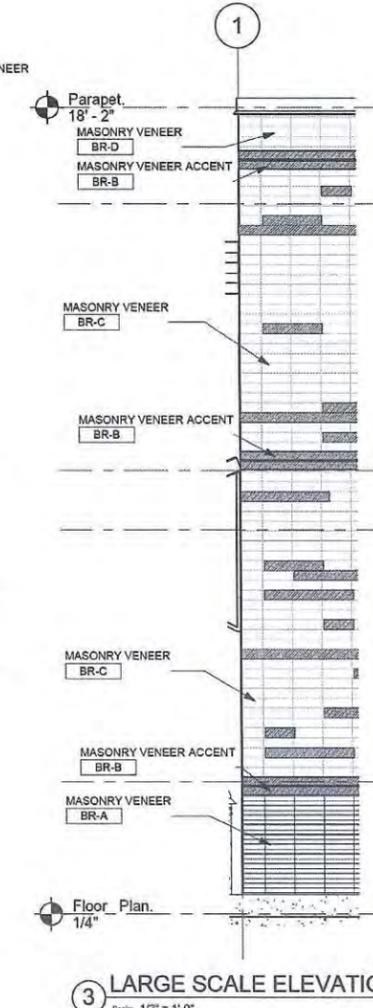
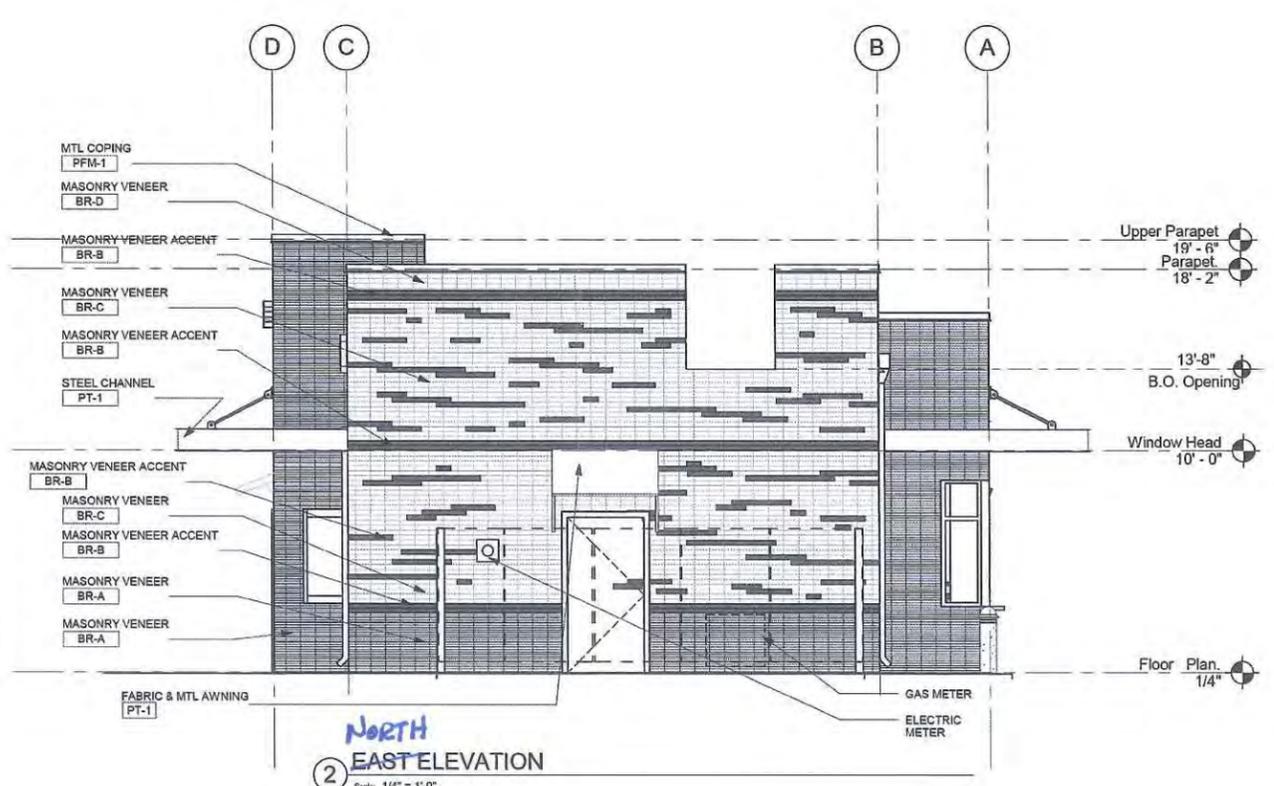
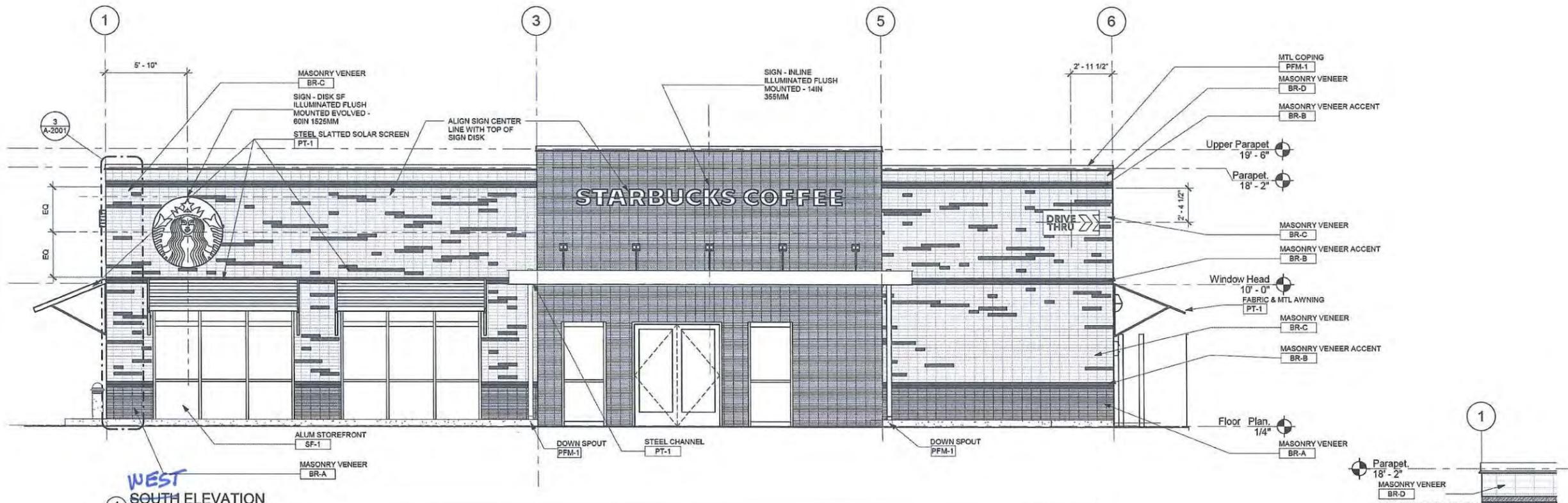
Store #:
 Project #:
 Concept:
 Palette:
 Issue Date:
 Design Manager:
 LEED® AP:
 Production Designer:
 Checked by:

Sheet Title:
**EXTERIOR
 ELEVATIONS**
 Scale: As indicated

STB V3.1

Sheet Number:
 A-2001

Design Development Only - Not Intended for Construction



MATERIAL LEGEND (EXAMPLE SPEC.)			
MASONRY:	MANF.	COLOR:	DESCRIPTION:
BR-A	MUTURAL MATERIALS	DARK - 'EBONY MISSION'	BOTTOM BAND
BR-B	MUTURAL MATERIALS	MEDIUM - 'REDONDO GRAY' - SMOOTH	INTERMEDIATE COURSES
BR-C	MUTURAL MATERIALS	80/20 BLEND 'PEWTER MISSION' & 'REDONDO GRAY'	MAIN FIELD
BR-D	MUTURAL MATERIALS	LIGHT - 'PEWTER MISSION'	TOP BAND
PAINT:	MANF.	COLOR:	DESCRIPTION:
MTL-1	TBD	TO MATCH PFM-1	AWNINGS
PT-1	TBD	BLACK GALV. METAL PAINTED	
METAL:	MANF.	COLOR:	DESCRIPTION:
PFM-1	TBD	DARK GRAY	PREFINISHED FOR METAL COPING
STOREFRONT:	MANF.	COLOR:	DESCRIPTION:
SF-1	TBD	BLACK OR DARK BRONZE	STOREFRONT FRAMING
MATERIAL NOTES:			
1. LOCAL AVAILABILITY & REQUIREMENTS GOVERN MATERIAL SELECTION.			
2. GOUT COLOR TO MATCH DARKEST BRICK OF SECTION.			



Starbucks Coffee Company
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 Seattle, Washington 98134
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 Production Designer:
 Checked by:

Sheet Title:
**EXTERIOR
 ELEVATIONS**
 Scale: 1/4" = 1'-0" STB V3.1

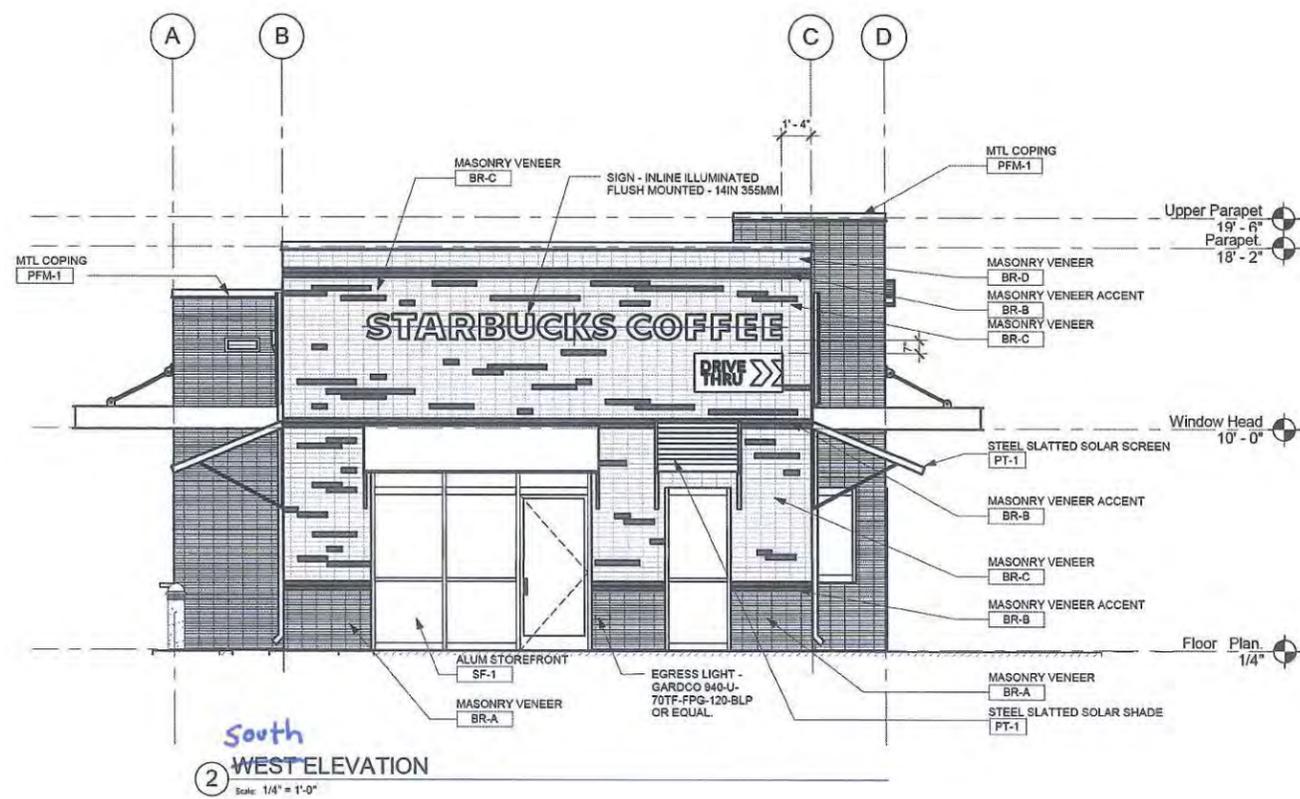
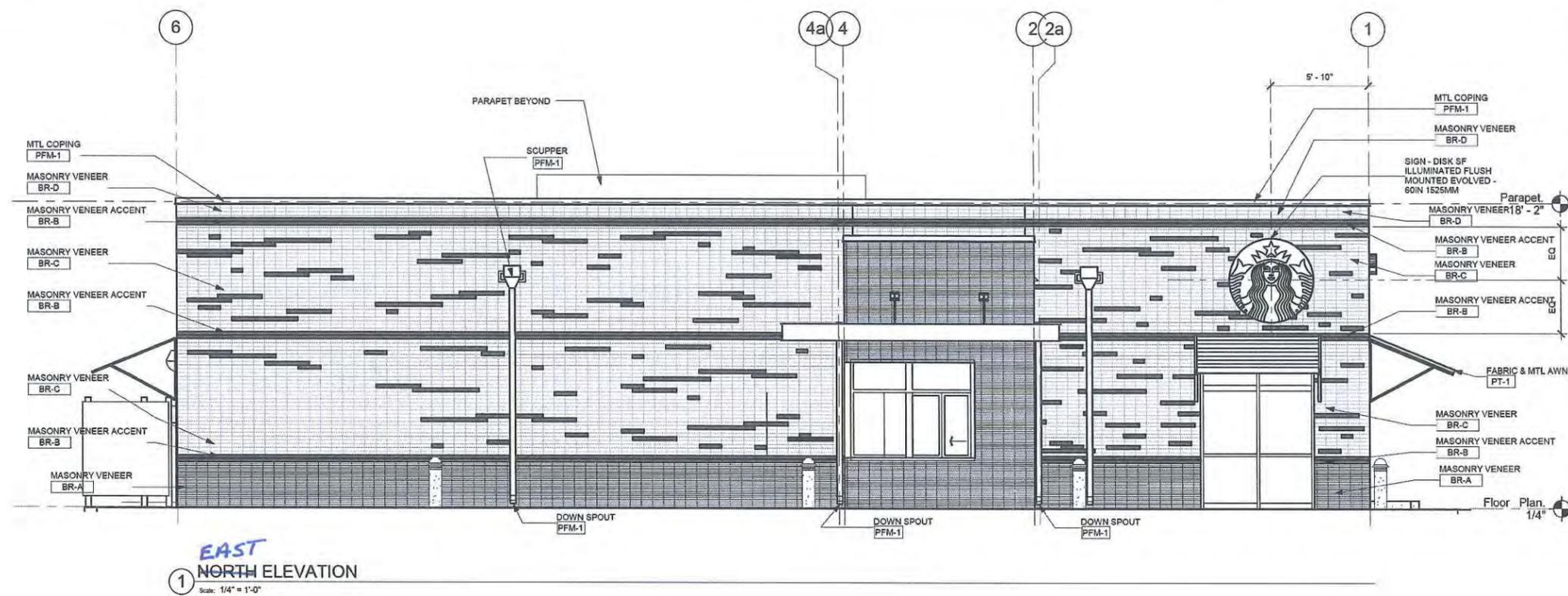
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EXTERIOR ELEVATION NOTES

- A. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. STARBUCKS CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- B. GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS, AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- C. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT SIGNAGE.
- D. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE WITH LANDLORD AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO STARBUCKS DESIGNER FOR APPROVAL.
- E. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT AND LANDLORD APPROVAL.
- F. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO STARBUCKS CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH STARBUCKS ARCHITECTURAL DRAWINGS.
- G. GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.
- H. SEE SCHEDULE SHEETS FOR SCHEDULES

SHEET NOTES

- 1. PROVIDE 3" (75MM) HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING FACING STREET.



MATERIAL LEGEND (EXAMPLE SPEC.)

MASONRY:	MANF.	COLOR:	DESCRIPTION:
BR-A	MUTURAL MATERIALS	DARK - 'EBONY MISSION'	BOTTOM BAND
BR-B	MUTURAL MATERIALS	MEDIUM - 'REDONDO GRAY' - SMOOTH	INTERMEDIATE COURSES
BR-C	MUTURAL MATERIALS	80/20 BLEND 'PEWTER MISSION' & 'REDONDO GRAY'	MAIN FIELD
BR-D	MUTURAL MATERIALS	LIGHT - 'PEWTER MISSION'	TOP BAND
PAINT:	MANF.	COLOR:	DESCRIPTION:
MTL-1	TBD	TO MATCH PFM-1	AWNINGS
PT-1	TBD	BLACK GALV. METAL PAINTED	
METAL:	MANF.	COLOR:	DESCRIPTION:
PFM-1	TBD	DARK GRAY	PREFINISHED FOR METAL COPING
STOREFRONT:	MANF.	COLOR:	DESCRIPTION:
SF-1	TBD	BLACK OR DARK BRONZE	STOREFRONT FRAMING

MATERIAL NOTES:
 1. LOCAL AVAILABILITY & REQUIREMENTS GOVERN MATERIAL SELECTION.
 2. GOUT COLOR TO MATCH DARKEST BRICK OF SECTION.

**CITY OF BEAVERCREEK
CITY COUNCIL
AGENDA ITEM REPORT**

11.10.4716

Meeting Date: April 11, 2016	Reference Topic: Ordinance No. 16-08 To Approve Supplemental Appropriations and Certify Additional Revenue for the Fiscal Year Beginning January 1, 2016, and Ending December 31, 2016 and to amend ordinance 15-31 and 16-03.
Agenda Reference No.: VIII. A.	

ACTION REQUESTED		
<input checked="" type="checkbox"/> Adopt Ordinance	<input type="checkbox"/> Adopt Resolution	<input type="checkbox"/> Review and Comment
<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Accept Staff Recommendation	<input type="checkbox"/> Other Motion _____

RESPONSIBLE DEPARTMENT OR AGENCY		
<input checked="" type="checkbox"/> Finance	<input type="checkbox"/> City Council	<input type="checkbox"/> Human Resources
<input checked="" type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Engineering/Planning	<input type="checkbox"/> Golf Course
<input checked="" type="checkbox"/> Police	<input checked="" type="checkbox"/> Public Service	<input type="checkbox"/> City Manager

Police (202) – During the budget process, the amount of the full time salaries did not roll up into the total personnel costs. The amount of \$46,142 was not included in the budget total and therefore must be appropriated. (202-52-2210-1110 Full Time Salaries).

Street Maintenance Fund (204) – During the budget process, it was depicted that in fiscal year 2016 this would be the last year of the capital leases for the street sweeper and salt/dump truck that were purchased in 2011. The City actually had one more year of full payments and then the final two payments in 2017. Since only the final two payments were depicted in the budget the City must appropriate the correct amount to cover the entire year of payments. The difference between the annual payments and the three payments budgeted is \$57,848. To properly reflect the correct amount the City must appropriate the above noted difference (204-57-3320-4471 Trucks/Other Vehicles).

Street Capital Improvement Fund (408) – The City received a grant from the Ohio Public Works Commission (OPWC) for the North Fairfield Widening project. This work was bid and managed by the OPWC and there was no local match. As recommended by the State Auditors, despite the fact the expenditures for the project are paid directly by the grantor, the City must still process this transaction as a pass through grant. Therefore, the City must appropriate the total project cost (408-58-5100-0775 North Fairfield Road @ I-675 Widening) and certify the revenue (408-432321 Grant – Pass Through) for the total amount of the project which is \$478,607.

Even though the pedestrian bridge opened to the public late last summer, ODOT recently informed us that the project was not completely finished. (Similar to the scenario above, this project was bid and managed by ODOT). The final work relates to seeding, mulching, and drainage shields on the bridge and the final payment and quantities to complete the job. The amount is estimated to be an additional \$100,000 and will be paid by ODOT through the pass through grant funding. Therefore, to properly record these final transactions for the completion of that project, the City must appropriate the funds (408-58-5100-0779 I-675 Pedestrian Bridge Project) and certify the offsetting pass through grant revenue in the same amount (408-432321 Grant – Pass Through).

Miscellaneous Trust Fund (750) – Originally, the City budgeted \$12,000 as the City's local share contribution for a Senior Center replacement van in conjunction with a grant from the Miami Valley Regional Planning Council. Subsequently the grant was restructured and management of this grant was changed to the Greater Dayton Regional Transit Authority (GDRTA). In addition, after reviewing the grant requirements it was determined that the City should budget the entire amount of the new vehicle and depict the 80/20 grant amount as offsetting the total van value. Also, after reviewing the City's current fleet and capacity, it was determined that City should purchase a 14 passenger van versus the smaller three passage van originally requested. The total cost of the new van is \$65,783 with the grant covering 80% of the cost or

\$52,626 with the City's share being \$13,157. Therefore, the City will need to appropriate the entire cost of the van \$65,783 minus the amount originally budgeted of \$12,000 for a net increase in appropriations of \$53,783 (750-54-3850-4471 Trucks/Other Vehicles). The City also needs to certify the grant revenue from the GDRTA in the amount of \$52,626 (750-3432301 Grants – Senior Transportation). The funds to cover the City's portion of this will come from the Senior Center Growth Revenue which is generated from donations to the center and was designed to be used for this purpose. This revenue source has a current fund of \$16,352 which is available to cover the City's proportion.

STAFF RECOMMENDATION: Staff recommends adoption of Ordinance 16-08

**CITY OF BEAVERCREEK, OHIO
ORDINANCE NO. 16-08**

SPONSORED BY COUNCIL MEMBER _____ ON THE 11th DAY OF APRIL, 2016.

**TO APPROVE SUPPLEMENTAL APPROPRIATIONS AND CERTIFY
ADDITIONAL REVENUE FOR THE FISCAL YEAR BEGINNING
JANUARY 1, 2016, AND ENDING DECEMBER 31, 2016, AND TO AMEND
ORDINANCE 15-31 AND 16-03.**

WHEREAS, the annual appropriations for 2016 was authorized in Ordinances 15-31 and 16-03 it is now the desire to supplement and amend these appropriations and to certify additional revenue, and

NOW, THEREFORE, THE CITY OF BEAVERCREEK HEREBY ORDAINS:

SECTION I.

That to provide for current expenses and other expenditures of the City of Beavercreek during said fiscal year ending December 31, 2016 and certification of additional revenue are hereby authorized, while preserving all other appropriations as previously approved.

REVENUE (FUND #)	INCREASE REVENUE CERTIFICATIONS
STREET CAPITAL IMPROVEMENT FUND (408)	\$578,607
MISCELLANEOUS TRUST (750)	<u>\$ 52,626</u>
TOTAL	<u>\$631,233</u>

EXPENSE FUND (FUND #)	INCREASE APPROPRIATIONS
POLICE LEVY (202)	\$ 46,142
STREET MAINTENANCE FUND (204)	\$ 57,848
STREET CAPITAL IMPROVEMENT FUND (408)	\$578,607
MISCELLANEOUS TRUST (750)	<u>\$ 53,783</u>
TOTAL	<u>\$736,380</u>

SECTION II

In order to conform to the amendments detailed in Section I with the schedule of 2016 annual appropriations previously approved, the Financial Administrative Services Director is hereby directed to prepare and certify a restatement of annual appropriations reflecting all approved appropriations, and certified revenue.

SECTION III.

It is hereby found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council, and that any and all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements, including,

but not limited to, Section 121.22 of the Ohio Revised Code.

SECTION IV.

This supplement to the Annual Appropriations Ordinance and certification of revenue shall take effect upon adoption, in accordance with Sections 10.04 and 10.10 of the Beavercreek City Charter.

PASSED this 11th day of April, 2016.

BOB STONE, MAYOR

ATTEST:

CLERK OF COUNCIL

ORD 16-08

SUMMARY

An Ordinance to approve supplemental appropriations and certifying additional revenue for the Fiscal Year ending December 31, 2016

This is a supplement to the Annual Appropriation Ordinance and in accordance with Sections 10.04 and 10.10 of the Beavercreek City Charter will become effective immediately upon its passage.

**CITY OF BEAVERCREEK
CITY COUNCIL
AGENDA ITEM REPORT**

MAC 4716

Meeting Date: 04/11/2016	Reference Topic: Resolution 16-09
Agenda Reference No.: VIII. B.	DARE Grant 2016/2017 School Year

ACTION REQUESTED		
<input type="checkbox"/> Adopt Ordinance	<input checked="" type="checkbox"/> Adopt Resolution	<input type="checkbox"/> Review and Comment
<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Accept Staff Recommendation	<input type="checkbox"/> Other _____

RESPONSIBLE DEPARTMENT OR AGENCY		
<input type="checkbox"/> Finance	<input type="checkbox"/> City Council	<input type="checkbox"/> Law
<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Engineering	<input type="checkbox"/> Planning & Zoning
<input checked="" type="checkbox"/> Police	<input type="checkbox"/> Public Service	<input type="checkbox"/> City Manager
<input type="checkbox"/> Clerk of Council	<input type="checkbox"/> Human Resources	<input type="checkbox"/> Other _____

BACKGROUND AND STAFF SUMMARY:

This resolution allows the Police Chief to apply for a state grant for monies to be applied to the DARE Officers salary during the school year. The grant is through the Ohio Attorney General's Office. If the grant is approved it will cover approximately 50% of the salary for the 9 months of school which is approximately \$25,282.00 dollars during the 2016/2017 school year. The DARE Officer teaches approximately 600 students per year.

STAFF RECOMMENDATION:

Staff recommends passage of this resolution.

RESOLUTION NO. 16-09

CITY OF BEAVERCREEK

THIS RESOLUTION SPONSORED BY COUNCIL MEMBER _____
ON THE 11TH DAY OF APRIL, 2016

**AUTHORIZING THE POLICE DEPARTMENT TO APPLY FOR OHIO
ATTORNEY GENERAL'S DRUG USE PREVENTION (D.A.R.E.) GRANTS
PROGRAM FUNDING.**

WHEREAS, the State of Ohio, through the Office of the Attorney General, administers financial assistance specifically for the matching of funds to defray the cost of D.A.R.E. officer's salary under the Drug Use Prevention Grant Program.

WHEREAS, Beaver creek City Council desires financial assistance under the Drug Use Prevention Grant Program.

NOW THEREFORE BE IT RESOLVED BY THE COUNCIL OF THE CITY OF BEAVERCREEK, OHIO:

Section I.

That the Beaver creek City Council approved filing an application for D.A.R.E. Law Enforcement Grants Program financial assistance.

Section II.

That the Chief of Police is hereby authorized and directed to execute and file an application with the Office of the Attorney General and to provide all information and documentation required to be eligible for possible funding assistance.

Section III.

That the Beaver creek City Council does agree to obligate the funds required to satisfactorily match the funds requested in the Drug Use Prevention Grant Program, and if awarded, enter into agreement to administer a D.A.R.E. grant through the Office of the Attorney General.

Section IV.

It is hereby found and determined that all formal action of this Council concerning and relating to the adoption of this Resolution was adopted in an open meeting of this Council and all deliberation of this Council resulting in such formal action was in meetings open to the public, in compliance with all legal requirements, including, but not limited to Section 121.22 of the Ohio Revised Code.

Section V.

This Resolution shall become effective immediately upon its passage.

ADOPTED by the Council of the City of Beavercreek, Ohio on this
11th day of April 2016.

Bob Stone, Mayor

ATTEST:

Dianne Lampton, Clerk of Council

SUMMARY

**SIGN AND AUTHORIZE THE FILING OF A D.A.R.E. GRANT APPLICATION WITH
THE OHIO ATTORNEY GENERAL'S OFFICE FOR LAW ENFORCEMENT GRANTS
PROGRAM FINANCIAL ASSISTANCE.**

CITY OF BEAVERCREEK
 CITY COUNCIL
 AGENDA ITEM REPORT

11/16 4716

Meeting Date: April 11, 2016	Reference Topic: Request for New Liquor Permit Mall Innkeepers LLC DBA Springhill Suites
Agenda Reference No: IX. A.	
	Accept without Comment

ACTION REQUESTED		
<input type="checkbox"/> Adopt Ordinance	<input type="checkbox"/> Adopt Resolution	<input type="checkbox"/> Review and Comment
<input type="checkbox"/> No Action Requested	<input checked="" type="checkbox"/> Accept Staff Recommendation	<input type="checkbox"/> Other _____

RESPONSIBLE DEPARTMENT OR AGENCY		
<input type="checkbox"/> Finance	<input type="checkbox"/> City Council	<input type="checkbox"/> Law
<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Engineering	<input type="checkbox"/> Planning & Zoning
<input checked="" type="checkbox"/> Police	<input type="checkbox"/> Public Service	<input type="checkbox"/> City Manager
<input type="checkbox"/> Clerk of Council	<input type="checkbox"/> Human Resources	<input type="checkbox"/> Other _____

BACKGROUND AND STAFF SUMMARY:

Ohio Division of Liquor Control sent police notification reference a new D5A liquor permit for Mall Innkeepers LLC DBA Springhill Suites, 22663 Fairfield Commons Blvd; 45431. The records checks required by the Ohio Department of Commerce - Division of Liquor Control were conducted on the business officers/shareholders for this application request.

STAFF RECOMMENDATION:

Staff is recommending this application request move forward with no comment.

**NOTICE TO LEGISLATIVE
AUTHORITY**

OHIO DIVISION OF LIQUOR CONTROL
6606 TUSSING ROAD, P.O. BOX 4005
REYNOLDSBURG, OHIO 43068-9005
(614)644-2360 FAX(614)644-3166

TO

5462736 PERMIT NUMBER		NEW TYPE	MALL INNKEEPERS LLC DBA SPRINGHILL SUITES 2663 FAIRFIELD COMMONS BLVD BEAVERCREEK OH 45431
ISSUE DATE			
03 11 2016 FILING DATE			
D5A PERMIT CLASSES			
29 TAX DISTRICT	005 A	B13936 RECEIPT NO.	

FROM **03/25/2016**

PERMIT NUMBER		TYPE
ISSUE DATE		
FILING DATE		
PERMIT CLASSES		
TAX DISTRICT		RECEIPT NO.



MAILED **03/25/2016**

RESPONSES MUST BE POSTMARKED NO LATER THAN. **04/25/2016**

IMPORTANT NOTICE

PLEASE COMPLETE AND RETURN THIS FORM TO THE DIVISION OF LIQUOR CONTROL
WHETHER OR NOT THERE IS A REQUEST FOR A HEARING.
REFER TO THIS NUMBER IN ALL INQUIRIES **A NEW 5462736**

(TRANSACTION & NUMBER)

(MUST MARK ONE OF THE FOLLOWING)

WE REQUEST A HEARING ON THE ADVISABILITY OF ISSUING THE PERMIT AND REQUEST THAT
THE HEARING BE HELD IN OUR COUNTY SEAT. IN COLUMBUS.

WE DO NOT REQUEST A HEARING.

DID YOU MARK A BOX? IF NOT, THIS WILL BE CONSIDERED A LATE RESPONSE.

PLEASE SIGN BELOW AND MARK THE APPROPRIATE BOX INDICATING YOUR TITLE:

(Signature)

(Title)- Clerk of County Commissioner

(Date)

Clerk of City Council

Township Fiscal Officer

**CLERK OF BEAVERCREEK CITY COUNCIL
1368 RESEARCH PARK DR
BEAVERCREEK OHIO 45432**

D8 \$500 ORC 4303.184 Sale of tasting samples of beer, wine, and mixed beverages, but not spirituous liquor, at retail, for consumption on premises.

Restaurant / Night Club

Permit Class	Permit Fee	Description
D1	\$376	<u>ORC 4303.13</u> Beer only for on premises consumption or in original sealed containers for carry out only until 1:00am.
D2	\$564	<u>ORC 4303.14</u> Wine and mixed beverages for on premises consumption or in original sealed containers for carryout only until 1:00am.
D2X	\$376	<u>ORC 4303.141</u> (Grandfathered Permit) Beer only for on premises consumption or in original sealed containers for carryout only until 1:00am.
D3	\$750	<u>ORC 4303.15</u> Spirituous liquor for on premises consumption only until 1:00am.
D3X	\$300	<u>ORC 4303.151</u> (Grandfathered Permit) Wine only for on premises consumption or in original sealed containers for carryout only until 1:00am.
D3A	\$938	<u>ORC 4303.16</u> Extend issued permit privileges until 2:30am.
D5	\$2,344	<u>ORC 4303.18</u> Spirituous liquor for on premises consumption only, beer, wine and mixed beverages for on premises, or off premises in original sealed containers, until 2:30am.
D5I	\$2,344	<u>ORC 4303.181</u> (Same as D5). Restaurant meeting certain criteria.
D7	\$469	<u>ORC 4303.183</u> (Same as D5). RESORT area only.

Club

Permit Class	Permit Fee	Description
D4	\$469	<u>ORC 4303.17</u> Beer and any intoxicating liquor to members only, for on premises consumption only until 1:00am.
D4A	\$750	<u>ORC 4303.171</u> Airline club only - Beer and any intoxicating to members and guests until 2:00am.
D5C	\$1,563	<u>ORC 4303.181</u> (Same as D5.) (This class can no longer be applied for.)
D5D	\$2,344	<u>ORC 4303.181</u> (Same as D5) located at airport.

Hotel And Motel

Permit Class	Permit Fee	Description
D5A	\$2,344	<u>ORC 4303.181</u> (Same as D5) for hotel or motel with 50 or more rooms for transient guests.

Enclosed Shopping Mall



**AGENDA
CITY COUNCIL
Work Session – April 18, 2016, 5:00 p.m.
Council Chambers**

1368 Research Park Dr
Beavercreek, Ohio

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. DISCUSSION ITEMS
 - A. Improved Signage at Creekside Trail Street Crossings – Bikeway and Non-Motorized Transportation Advisory Committee
 - B. Direct Election of Mayor
 - C. Follow Up on Lofino Center Renovation
 - D. Expenses of Council
- V. COUNCIL COMMITTEE/EVENT UPDATES
- VI. ADJOURNMENT

DRAFT



CITY COUNCIL
Regular Meeting – April 25, 2016 6:00 p.m.
Council Chambers

1368 Research Park Dr
Beavercreek, Ohio

PROCLAMATIONS

- ◆ Older Americans Month

- I. CALL TO ORDER
- II. ROLL CALL
- III. PLEDGE AND MOMENT OF SILENCE – Mayor Stone
- IV. APPROVAL OF AGENDA
- V. APPROVAL OF MINUTES
- VI. ORDINANCES, RESOLUTIONS AND PUDS
 - A. Ordinance 16-___ Direct Election of Mayor
- VII. LIQUOR PERMITS
 - A. Lakes Venture LLC Fresh Thyme Farmers Market (New)
- VIII. CITY MANAGER'S REPORT
- IX. MAYOR'S REPORT
- X. COUNCIL TIME
- XI. CITIZEN COMMENTS
- XII. EXECUTIVE SESSION
- XIII. ADJOURNMENT

DRAFT

PLANNING DEPARTMENT STATUS REPORT

April 7, 2016

CITY COUNCIL

April 11, 2016

- PUD 541, Major MOD Flying Ace Express/Starbucks, public hearing
- Z-16-2, 4230 Dayton-Xenia, public hearing, first reading

April 25, 2016

- Z-16-2, 4230 Dayton-Xenia, public hearing, second reading
-

May 9, 2016

- Z-16-2, 4230 Dayton-Xenia, third reading
-

Tabled / Delayed / Pending

-

PLANNING COMMISSION

May 4. 2016

- PUD 16-1, The Cottages of Beaver creek, public hearing
-

June 1. 2016

-
-

Currently Tabled / Delayed

-

Commercial Permits Submitted and Under Review

- Galactic
- BSM Development

BOARD OF ZONING APPEALS

April 13, 2016

-
-

Currently Tabled or Delayed

-
-