

BEAVERCREEK PLANNING COMMISSION
REGULAR MEETING, October 5, 2016, 7:00 p.m.

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. APPROVAL OF MINUTES
 - A. September 7, 2016
- V. PUBLIC HEARINGS
 - A. PUD 06-3 AMENDMENT 9/16, First & Main Beaver creek
 - B. PUD 91-2 MOD 9/16, Major, BSM Development
- VI. ADJOURNMENT

BEAVERCREEK PLANNING COMMISSION
REGULAR MEETING, September 7, 2016

PRESENT: Mr. Archibald, Mr. Curran, Mr. Erbes, Mr. Loftis, Mr. Self

ABSENT: None

Chairman Self called the meeting to order followed by roll call.

Mr. Curran MOVED approval of the agenda. Motion was seconded by Mr. Archibald and PASSED by majority voice vote.

Mr. Curran MOVED approval of the July 6, 2016 minutes. Motion was seconded by Mr. Loftis and PASSED by majority voice vote.

PUBLIC HEARINGS

PUD 16-1 SSP #1, The Cottages of Beavercreek

Clerk Gillaugh read the notice of public hearing on an application filed by Charles Simms Development, 2785 Orchard Run Road, Dayton, Ohio 45449. The applicant requests specific site plan approval to allow for the construction of 14 single-story condominium buildings totaling 85 units to be constructed on 20.03 acres. The property is located on the east side of County Line Road approximately 700 feet south of the intersection of County Line Road and Weber Drive. The property is further described as Book 3, Page 3, Parcel 72 on the Greene County Property Tax Atlas.

Mr. Self recused himself from the case.

Charlie Simms stated this will be his third community in Beavercreek, and is proud to build here. He said they have been in business for over 60 years, and they try to do a good job for the customers and the City. Mr. Simms explained they are almost finished with their zoning case through City Council. He said they have had several meetings with residents and with City staff, and felt they have responded to the comments and have come a long way with this development. Mr. Simms stated this proposal has 85 units, which was a little different than the 90 units they proposed at the rezoning stage. He explained the buildings will have between four and nine units, and they will all have two-car garages. Mr. Simms said they will be connecting Quill Road to the south, they will be adding a street light, and a left turn arrow at County Line Road and Straight Arrow Road. He discussed the emergency fire access, and said the Fire Department is requesting a 12-foot paved street with collapsible bollards. Mr. Simms reviewed the open spaces, the sidewalks, the two building phases and the mounds. He showed and discussed the elevation drawings and construction materials, and said they will be a craftsman/cottage style. Mr. Simms explained the units are approximately 1,300 and 1,500 square feet, and they are pricing them between \$200,000 and \$250,000.

Mr. Burkett summarized the staff report dated September 2, 2016, which stated the applicant is requesting approval of a specific site plan to allow for the construction of 85

residential units on 20 acres. Mr. Burkett discussed the location of the lot and the existing site conditions. He explained the rezoning case is currently going through City Council, and the third reading will be on Monday. Mr. Burkett explained there is a condition regarding that any approval here this evening is contingent upon the rezoning case being approved by City Council and the 30 day referendum period. Mr. Burkett reviewed the surrounding properties' zoning districts, the site plan, the emergency access, the sidewalks throughout the development, the architectural elevations, the detention facility, the landscaping plan, the ground sign, and several of the conditions in the resolution. Staff recommended approval of the case with 21 conditions.

Randy Grogean, Fire Prevention Inspector for Beavercreek Township Fire Department, presented a study they conducted over the last year on emergency access routes in the City and in Beavercreek Township. He explained they are in the process of contacting the owners to remedy the problems, and to make the owners aware of the Fire Department's requirements and expectations. Mr. Grogean stated they are currently working with City Planning staff and Greene County Regional Planning to develop new specific standards that eliminate the need for the emergency accesses. He said for this development, the Fire Department's first preference would be for the developer to construct a Beavercreek standard street to make the connection between the proposed and existing developments. Mr. Grogean explained that would eliminate the unknown future maintenance of the street and offer unobstructed accessibility into both developments. He said if Planning Commission and Council decide for the emergency access to be installed, the Fire Department would allow the access with some specific provisions that are still in the works of being discussed with staff. Mr. Grogean stated if it is the desire of Planning Commission to allow for the emergency access, the Fire Department will approve it, but they want to ensure the common maintenance issues can be completed by the Fire Department.

In public input, Dave Asadorian, 4281 Maple Hill Terrace, stated his concern was a through road would be built through Terrace Drive and what he is hearing and seeing that is not going to happen. He discussed the condition of the streets in the subdivision, and did not feel it was built for increased traffic. Mr. Asadorian was pleased to hear the good news that there would not be a through road.

Heidi Cowan, 667 Terrace Drive, questioned why the grass paver idea was not a good idea. She said from the Fire Department perspective it sounded like they would prefer an open asphalt lane, but wanted to know why the grass pavers would not be an option.

Kevin Kreitzer, 4269 Woodland Terrace, stated his concern was about the housing income. He was worried about what would be brought into his neighborhood if the road is connected. Mr. Kreitzer explained the roads are narrow, and there is a tree right on the corner and if someone zips through there they are going to hit the tree and he knew the homeowner does not want to take the tree down. He said they have had no issues in the neighborhood, and they have a bunch of little children running around. Mr.

Kreitzer stated they do not want the traffic, and they would like to keep it the way it is with no through traffic.

Dave Rose, 4259 Highview Terrace, stated a service access road for the Fire Department without a through road will not stop traffic. He said he did not want the service road there and did not want the new development. Mr. Rose explained the same situation is going to occur with what they have now with the new homes that were built, and the service road there that cars still come through. He stated a small sign that says "no traffic" does not stop cars from coming through. Mr. Rose thought one of the things that keeps his neighborhood nice right now is they don't have through traffic. He said it is safe for the kids to play, and if they put condos in and traffic in all the way to the apartments on the other side, they are going to be bringing a lot of traffic through their neighborhood that they don't want.

Linda Kaiser, 751 Countryview Drive, stated their streets are not built for extra traffic. She said their neighborhood is an old dead-end plat and the streets are very narrow only measuring 20 feet wide. Ms. Kaiser explained they do not have curbs or sidewalks, and in order to pass each other they have to slow down. She stated people do park on the street, and the gentleman from the Fire Department said they need to keep the streets clear so that was another concern. Ms. Kaiser explained people come into their neighborhood to just walk, and they have a lot of families moving in with children. She thought if it is a fire access road it may be different, but a through street would cause a lot of problems into their neighborhood.

Pat Kibler, 747 Terrace Drive, stated the large tree sits on her lot and that is the only thing that keeps cars out of her yard currently. She said in regards to the fire access, they have one to the neighborhood behind them. Ms. Kibler knew that people from that neighborhood drive through into their neighborhood all the time, especially people who have been drinking and want to avoid County Line Road and Shakertown Road. She believed if they allow fire access it is going to become a cut through and everyone who doesn't want to stop at two lights on County Line Road will head into the new development and end up on Shakertown Road. Ms. Kibler said they do not have sidewalks and they do not want sidewalks. She stated they have nice big lots, which is why they live where they do. Ms. Kibler thought it was incredible to her that this was even an issue because it is not plausible the way the neighborhood is and it will become a traffic nightmare. She believed if people find out it is an access road people are going to use it, and appreciated the consideration of eliminating it.

Kristy Hobson, 4385 Straight Arrow Road, echoed the comments of the previous speakers and applied those to Quill Road also. She felt this development needed a lot more planning, and did not feel this was a good deal for Beavercreek, the citizens, or the future citizens. Ms. Hobson stated Mr. Burkett had allegedly said at a previous meeting that there was not going to be that much traffic with the Cottages going in so a traffic study was not required, but then at the next meeting he said there was going to be too much traffic so therefore Quill Road needed to be opened so cars could drive

through. She said that was a complete flip flop, and completely agreed with all the statements about the traffic. Ms. Hobson was concerned about the safety at Quill Road and Straight Arrow Road, which is right by the bus stop. She explained Straight Arrow Road does not have sidewalks, so people walk in the street. Ms. Hobson stated she has seen a number of close calls, and thought it would happen for sure if Quill Road is opened. She said if Quill Road is opened she thought the maintenance of the road should be added to the HOA fees for the Cottage and not be paid for by the citizens of Beavercreek. Ms. Hobson said if this is approved that would be approximately 200 cars a day in the area, and agreed it would become a cut through. Ms. Hobson explained her biggest concern was the road and traffic.

Brian Daniel, 4358 Straight Arrow Road, echoed the comments about traffic. He referred to Quill Road to the south and Straight Arrow Road, and said that was discussed in several of the meetings with the developer and the homeowners. Mr. Daniel explained that was one of the items the developer stated could be an access road and not a full road. He said that is one of the things that has gone away throughout this process that the neighbors were amenable to as a compromise. Mr. Daniel thought it was a little inappropriate to ask the neighbors to meet with the developer to say what would make them happy to support this development, and turn around three or four meetings later and take it back away from them when they have no way of contributing back into it. He stated he really wanted to echo the concerns and safety of Straight Arrow Road. Mr. Daniel said at the last City Council meeting one of the council members made a comment that perhaps a traffic study is needed. He questioned if that was going to happen because it was stated at the Council meeting that is something that happens at the specific site plan phase. Mr. Daniel stated he has paid close attention to the traffic on County Line Road, and there are numerous times throughout the day where traffic does back up. He said he saw time and time again where cars are turning trying to find a way around, and thought if the connection is made to the south by Quill Road and the emergency access there will be traffic going through. Mr. Daniel asked if any further investigation is going to occur regarding traffic.

Doug Roberts, 4269 Highview Terrace, stated he has lived there for 35 years and it is a quiet community. He believed everyone lives in that community because it is what it is, and they don't want any outsiders and they like it that way. Mr. Roberts thought many people thought it was just going to be pavers to bring the access through, and thought people may have bought that. He stated they will go back and talk to the neighbors, and will be looking forward to the next meeting so they can let the City see the support that the people do not want this. Mr. Roberts said 90% of the people do not want the added traffic, and they want to be left alone. He stated they get very little perks from the City, but they do get the streets plowed regularly now.

Robert Kyre, 4302 Weber Drive, asked about what would be or could be done on the asphalt emergency roads to insure the access points are only for emergency access traffic. He said there have been lots of comments stating it doesn't matter if it is a full

road or an emergency access people are going to use it, and to him there has to be ways to make it usable for what it is intended to be used for.

Heidi Cowan, 667 Terrace Drive, stated she is one who has the small children, and said they would move if there was an access that increased traffic. She explained the children play in the yard and on the street and that is one of the main reasons they bought the house.

Mae Giehl, 4456 Straight Arrow Road, stated she lives in the second house from where the new road is going to be cut. She explained it is very difficult to get out of her driveway now because of Quill Road coming over and Cinnamon Ridge coming out. Ms. Giehl said the stop sign on Quill Road ought to not be there, and she wasn't sure how to go about getting a speed bump put in there. She stated 95% of the traffic from the other housing development that has 67 houses use Quill Road to get to Straight Arrow Road. Ms. Giehl explained in the afternoon during rush hour traffic it will take several light cycles before a person can turn onto Straight Arrow Road because of all the traffic coming up County Line Road. She stated they are proposing the large retention pond behind her residence and she was hoping they would push it back since it is only 24 feet from her property line.

There being no further public input, the public hearing was closed.

Mr. Archibald asked why grass pavers are not a good idea for emergency access drives. Mr. Grogean explained the biggest problem is trying to identify them, and if they are plowed through they may be plowed up. Mr. Archibald said Mr. Grogean had mentioned earlier that only 13 emergency access drives are useable, and asked if grass pavers fall into that category if they are not maintained. Mr. Grogean said yes, and several of them are grass pavers or a combination of them. Mr. Archibald stated the emergency access drive on the plan is a paved access with collapsible bollards. Mr. Grogean showed a picture of an emergency access drive in Beavercreek that has two collapsible bollards. Mr. Archibald questioned if cars could knock those down. Mr. Grogean explained how they work, and that they would stop a vehicle. He said another viable option is a gate, and he showed a photo of an example of it.

Mr. Erbes felt it was very important to have an emergency access to the back half of the development. He said they have an option of collapsible bollards or a gate so there is a mechanism in place to stop vehicular traffic through there. Mr. Burkett said yes it will deter them from wanting to use it. Mr. Erbes said his preference would be with whatever the Fire Department prefers because both options will provide that protection of keeping the path clear. Mr. Erbes questioned what the width of that roadway would be. Mr. Burkett explained it would be 12 feet. He asked if the construction of it is adequate to provide the capacity of fire apparatus. Mr. Burkett said yes, they have a standard of 72,000 pounds. Mr. Erbes questioned if there would be curbs and gutters. Mr. Burkett said no, it will be like a wide sidewalk.

Mr. Curran said his concern was essentially the same, and wanted to make sure the audience was aware of it because of the number of concerns that they don't want cars driving through. Mr. Burkett stated a gate or collapsible bollards have always been the intent, and it is shown on the site plan. He said the Commission could also add an additional condition requiring collapsible bollards and/or a gate approved by the Fire Department.

Mr. Loftis asked who was going to be responsible for snow removal on the emergency access because he has seen where they pile it in front of the emergency access point. Mr. Burkett explained with it being private property it would be required by the HOA. He stated when a subdivision is done, they do easements, so if for some reason the retention/detention pond is not being maintained properly by the HOA, it gives the City the opportunity to come in and do what is necessary and make it fail safe. He said the same easements can be added on top of the emergency access drive, so if need be they can come in and maintain them.

Mr. Erbes said Quill Road to the south is a public road and College Park Drive is a private drive, and asked why those are different and if it will be the HOA responsibility to maintain. Mr. Burkett said if the street is public it is the City's responsibility and if it is private it is the HOA's responsibility. Mr. Erbes asked if staff is comfortable with the makeup of that private road. Mr. Burkett stated the City Engineer has reviewed it, and said there is right-of-way that the City owns by Quill Road which is why it will be required to be built to City standards. Mr. Erbes questioned if staff was ok with the private road. Mr. Burkett said there is a minimum construction standards that will be need to be met fully before any permits are released.

Mr. Erbes referred to the location of a building and College Park Drive, and expressed some concerns about the building setbacks and the proximity of the road. Mr. Burkett said there are no required setbacks for private roads and there will be sidewalks. There was some discussion regarding other subdivision in Beavercreek with short driveways. Mr. Burkett thought a minimum setback could be established, but typically it is not something that is done in a private apartment or condo complex. Mr. Erbes requested that the other Commissioners consider that. Mr. Erbes asked if the trash container storage would be kept inside the garages. Mr. Burkett referenced Condition #15 which addressed the trash container storage. Mr. Erbes questioned if there was any concern with a line-of-sight issue with the larger trees proposed near the entrance. Mr. Burkett stated staff could take a second look at that and said there is a condition that states the final landscaping plan be approved by the staff prior to the release of a zoning permit.

Mr. Erbes referred to the elevations, and asked about the building materials above the garages. Mr. Simms explained the two materials will have the same look, and said the lap siding would not be an option about the garage doors. Mr. Simms referenced the setbacks, and explained the reason they are doing it is because they are doing a side load garage. He thought the road could be moved a little bit so there is a larger setback there, and they are trying to create a nice look in those areas. Mr. Simms understood

Mr. Erbes' concern and said they could look into it. Mr. Archibald thought the primary concern was when people park in the driveways that they don't overhang the sidewalk. Mr. Simms stated they can make sure that doesn't happen. Mr. Simms said in regards to the signage, and they will take a look to make sure they have proper sight distance.

Mr. Curran asked who will maintain all the landscaping proposed with this project. Mr. Simms stated the HOA will be responsible, and explained the bond with the City that will be required for landscaping. Mr. Curran questioned if the retention pond could be shifted some to address the concern of the citizen. Mr. Simms believed it was approximately 25 feet, and thought it would be a very nice feature. Mr. Archibald asked if there was much flexibility in adjusting the southern border of the pond. Mr. Simms said they will be taking in a lot of water in the area so they have to have proper storage of it, and said they will if they can.

Mr. Loftis referred to the lighting plan, and said it appeared there is some bleed over into some of the existing units. Mr. Burkett explained they will have to get the final plan approved and by law it will have to be zero foot candles at the property line. Mr. Loftis said on the north side of the landscaping plan there is a break, and asked if there was a reason for it. Mr. Burkett stated a condition could be added to extend that evergreen line all the way to the existing tree line.

Mr. Loftis questioned if there would be a request for temporary signage. Mr. Simms thought it was allowed to have a construction sign that they will apply for a permit. Mr. Loftis asked if there was a time frame or a condition the sign needs to be maintained in. Mr. Burkett stated the Zoning Code states they are allowed to have it while the project is under construction, and there is a bond that they have to pay in case it is not removed the City can remove it. Mr. Loftis referred to Building 4, and asked if there was any way to extend that parking lot out and not make the end unit a side entry garage. He was concerned because that was the only garage that people would back out onto Quill Road. Mr. Burkett said the engineer would have to take a look at the plan and see if it was feasible, but they could add a condition. Mr. Archibald asked what Mr. Simms' thoughts were about making the change to Building 4. Mr. Simms thought if they could meet the 20-foot setback from the sidewalk, then he thought it should be ok. Mr. Loftis and Mr. Simms discussed a different option, and Mr. Simms felt that it was ok being a side load garage and would like to keep it that way so there is some greenspace in that area.

Mr. Archibald said Mr. Daniel stated that there was an agreement between Mr. Simms and the surrounding neighbors that they were just going to have an emergency access to the south on Quill Road, and wanted to verify that it was the City's requirement to make that a street. Mr. Burkett stated that was correct. Mr. Archibald questioned what the purpose was to make that a street and not an emergency access. Mr. Burkett explained it was to get access to the light at Straight Arrow Road. Mr. Archibald asked if there was going to be a left turn arrow on to County Line Road to give preference over cars from Reynolds and Reynolds wanting to turn right going the same direction. Mr.

Burkett stated that was correct. Mr. Archibald stated people will be able to turn right or left onto County Line Road using Cottage Park Way or they can come out on Straight Arrow Road and will have access to turn at a light.

Mr. Archibald asked where the setback was for the ground signs. Mr. Burkett stated the signs need to be at least 15 feet off the edge of pavement, and he showed where the signs will be located. Mr. Archibald referenced the existing park land to the east, and questioned if a condition needed to be added assuring that those trees don't get disturbed. Mr. Burkett explained once the land is dedicated to the City, it is the City's park and he can't do anything to it. Mr. Archibald wanted to make sure he didn't remove the trees during the construction phase. Mr. Burkett said a condition could be added, but he did not see a reason to go back that far on the site. Mr. Simms stated they will have to go in there a little bit for grading and the street, but they wanted to keep as many trees as they could.

Mr. Erbes asked if the City needed to specify the homeowner's association and how that plays out. Mr. Burkett said that is a private intent that is formed themselves. Mr. Erbes questioned if something didn't meet City's requirements then the City would step in. Mr. Burkett explained how the landscaping is handled. Mr. Erbes asked about the maintenance of the private street. Mr. Burkett explained that will be a street they will be required to maintain. Mr. Erbes said his concern was to make sure the HOA is in place, in force, and is maintained. Mr. Burkett stated the HOA is a private entity that the City will not get between the homeowners and the HOA.

Mr. Erbes proposed to accept staff's additional four conditions and proposed to add the following conditions:

22. The emergency access at Terrance Drive shall be restricted by collapsible bollards or a gate.
23. The row of evergreen trees along the northern property line shall be continued until the existing woods.
24. The side drive access to Unit 4 from Quill Road shall be reviewed and moved to a front entry garage if feasible.
25. There shall be a 20-foot setback from the back of the sidewalk to the front of the garage to allow vehicle parking and to maintain a free and clear access on the sidewalks.

Mr. Curran MOVED to add the additional conditions. Motion was seconded by Mr. Loftis. Motion PASSED by roll call vote of 4-0. (Self recused)

Mr. Erbes MOVED to approve PUD 16-1 SSP #1 with 25 conditions:

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1. The approved site plan and architectural elevations shall be the plans dated "Received August 31, 2016" except as modified herein.
2. A PUD Agreement must be signed by the owner and a bond or letter of credit for the site landscaping must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
3. The final landscape plan shall be reviewed and approved by the Planning Department prior to the release of a zoning permit for the building.
4. Prior to any grading on site, the applicant shall install a temporary grading limit fence, as shown on the approved site plan. If any landscaping/grading is disturbed outside of the grading limit, the applicant shall submit and received approval of an amended landscape plan showing mitigation for the disturbed areas, prior to the release or reduction of any landscaping bonds.
5. Any portion of the site disturbed by grading, and on which no construction occurs within three months after completion of the site grading, shall be planted with appropriate ground cover free of noxious weeds and construction debris and shall be properly maintained.
6. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally installed, within three months weather permitting.
7. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including the storm drainage facilities. The City reserves the right to require more frequent collection as necessary.
8. Aeration and water circulation devices and/or fountains are required for the retention pond(s) and shall be maintained by the owner of the development in perpetuity.
9. Prior to the issuance of a zoning permit, final cut sheet details, showing the design of wall pack or scone lighting, and photometric plans for lighting of the buildings and site shall be reviewed and approved by the Planning Department.
10. Final topography and grading plans shall be submitted for review and approval by the City Engineer prior to submission of application for final subdivision and must be approved prior to the issuance of a site-grading permit.
11. A final subdivision shall be approved by Planning Commission and recorded with

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the Greene County Auditor's Office prior to the release of any zoning permits for this project.

12. Final drainage calculations shall be approved by the City Engineer prior to the release of the record plan for recording.
13. Prior to the release of the record plan for recording, the applicant shall sign a Subdivider's Contract and submit a bond or letter of credit for the public improvements if required by the City Engineer.
14. The construction hours shall be limited to 7:00 AM to 7:00 PM, Monday thru Saturday.
15. All residential style trash totes shall be stored within or immediately adjacent to a primary structure, and shall be out of ordinary public view on days when trash collection is not occurring (except the night before scheduled pick-up is to occur).
16. Prior to the release of the record plan, park fees shall be paid in-lieu of dedication of parkland as determined at the subdivision stage.
17. There shall be a minimum of 8 handicap designated parking spaces on the site.
18. The approval of this request is contingent upon the associated PUD Rezoning PUD 16-1 being approved and becoming effective. Should R-PUD 16-1 be disapproved, this site plan shall be null and void.
19. The developer shall pay all costs associated with the installation of a street light at the intersection of Quill Road and Straight Arrow Road.
20. The developer shall pay all costs associated with the design and construction of necessary modifications to the existing traffic signal at the intersection of Straight Arrow Road and County Line Road.
21. The south side of Quill Road, connecting to Straight Arrow Road, shall be constructed to City standards for public roadways.
22. The emergency access at Terrance Drive shall be restricted by collapsible bollards or a gate.
23. The row of evergreen trees along the northern property line shall be continued until the existing woods.
24. The side drive access to Unit 4 from Quill Road shall be reviewed and moved to a front entry garage if feasible.

25. There shall be a 20-foot setback from the back of the sidewalk to the front of the garage to allow vehicle parking and to maintain a free and clear access on the sidewalks.

Motion was seconded by Mr. Curran. Motion PASSED by a roll call vote of 4-0. (Self recused)

DECISION ITEMS

PUD 91-2 MOD 7/16, Minor, KFC/Long John Silver's Façade Renovation

Ms. Pereira summarized the staff report dated September 2, 2016 on a request by Brandon Crawford, Multi-Site Group, One North Wacker Drive, Ste. 850, Chicago, Illinois 60606. The applicant is requesting approval of a minor modification to allow for the remodel of the existing facade of the KFC/Long John Silver's Restaurant located at 2480 North Fairfield Road. She explained typically a remodeling of an existing façade that doesn't include any type of architectural changes is done on a staff level. Ms. Pereira stated she was trying to work with the applicant, but no agreement could be reached so it was being presented to the Commission for their determination. She reviewed the proposed elevations, and explained staff's concerns. Ms. Pereira showed several elevations that staff felt were more appropriate, and staff recommended disapproval of the case.

Thomas Reynolds, Land Lease Corporation, Project Manager/Construction Manager, stated he would like to know what the seven condition were if the case was approved. Ms. Pereira said she could provide him a copy if the case was approved. Mr. Reynolds said he saw the color scheme Ms. Pereira showed, and they also have the neutral color scheme. He explained he did not know the reason they did not come back with the neutral color scheme, and if it is rejected he understood.

Mr. Archibald thought if they have a neutral color scheme, and he questioned if it would be acceptable to the City. Ms. Pereira said they would be. He explained they didn't want to take away from the franchise, but they wanted some consistency with the rest of the community in that area.

Mr. Self asked if the proposed elevations had additional signage. Ms. Pereira explained the plan Mr. Self was referring to was not a plan they would approve because the building does not look like that and it was just a sample elevation showing a different color scheme. She stated the applicant sent a lot of sample color schemes to see what would be acceptable.

Mr. Erbes suggest to Mr. Reynolds that he go back to the owner and express Planning Commission's concern, and requested they work a little bit more with the staff. Mr. McGrath said he did have conversations with the franchise owner, and said this was initiated from the corporate level. He thought once the comments that have been made tonight get relayed to them, they will all be on the same page moving forward.

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Mr. Archibald MOVED to disapprove PUD 91-2 MOD 7/16. Motion was seconded by Mr. Curran. Motion PASSED by a roll call vote of 5-0.

ADJOURNMENT

Mr. Erbes MOVED adjournment at 8:53 p.m., seconded by Mr. Loftis. Motion PASSED by majority voice vote.

Melissa Gillaugh
Deputy Clerk

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: October 5, 2016	Reference Topic PUD 06-3 Amend. 9/16
Agenda Reference No.	First & Main Beaver creek

ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

REQUEST BY APPLICANT:

The applicant is requesting approval of an amendment to PUD 06-3 Buckingham Village located on Grange Hall Road between Pentagon Blvd. and Kemp Road, approximately 200 feet south of Lujon Drive. Specifically the request is to allow for the construction of an 80 unit, 76,000 square foot nursing home on 12.3 acres. The request is Planning Commission and City Council add nursing homes as a permitted use on the southern half of the PUD. There has also been discussion from the applicant for the potential for semi-independent or independent duplexes within the PUD to be operated in conjunction with the nursing facility.

STAFF RECOMMENDATION:

Staff is recommending approval of this PUD Amendment as outlined in the attached Resolution.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, disapproval, modification or table the attached application for further review.

Burkett

CITY OF BEAVERCREEK STAFF REPORT

September 29, 2016

PROJECT: First and Main

CASE NO.: PUD 06-3 Amendment 9/16

APPLICANT: **Granger Group**
2221 Health Drive SW
Suite 2200
Wyoming, OH 49519

REQUEST

The applicant is requesting approval of an amendment to PUD 06-3 Buckingham Village located on Grange Hall Road between Pentagon Blvd. and Kemp Road, approximately 200 feet south of Lujon Drive. Specifically the request is to allow for the construction of an 80 unit, 76,000 square foot nursing home on 12.3 acres. The request is Planning Commission and City Council add nursing homes as a permitted use on the southern half of the PUD. There has also been discussion from the applicant for the potential for semi-independent or independent duplexes within the PUD to be operated in conjunction with the nursing facility.

EXISTING CONDITIONS

Background Information

The original zoning for this project was approved by City Council in 2006. The building setbacks of 50 feet from Park Overlook Drive, and 50 feet from the right-of-way of Grange Hall Road, were established at the rezoning stage.

In early 2007, a specific site plan was approved by City Council that called for the construction of 34 duplex buildings (68 units total) within the 27.41 acre development. The approved site plan showed 17 duplexes on the south side of the Park Overlook Dr. and 17 duplexes on the north side of Park Overlook Dr.

In 2010, an amendment to the PUD was approved to allow for the construction of an 80,000 square foot skilled nursing facility on the northern portion of the PUD, as well as the elimination of the permitted 17 duplexes on that side of the road. At that time, it was unknown

what was to occur on the southern half of the PUD, and therefore the conditions on the southern portion were left unchanged.

The southern portion of the PUD is mostly vacant, consisting of open fields and woods as well as a detention pond, as shown on the aerial below. The aerial shows Park Overlook Drive as unfinished, however, it has since been completed, with sidewalks, curbs and gutters on both sides. The southwest corner of the property contains an older house, currently being utilized as a rental. The applicant intends to demo the house as part of the construction process of the proposed assisted living facility.



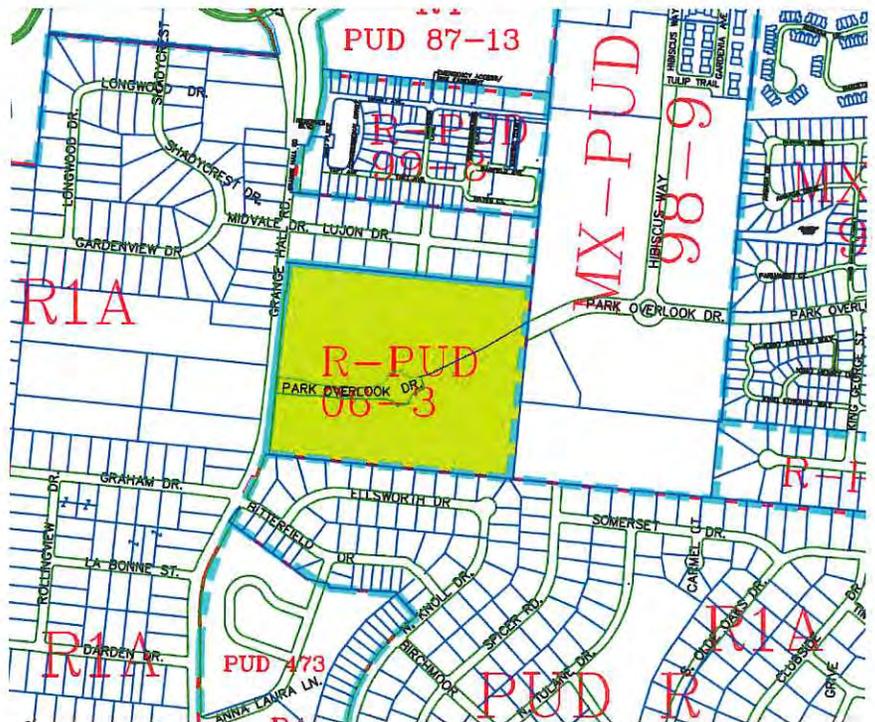
Land Use Plan

The Land Use Plan has this PUD partially designated as Neighborhood Commercial – Office and a majority designated as Medium Density Residential - Office. Assisted living facilities are permitted within residential, commercial and office districts in the Zoning Code, and therefore the request by the applicant for the reduction of medium-density residential to make way for a nursing home in this location, is compatible with the approved Land Use Plan.



Surrounding Zoning

The subject property is immediately adjacent to the north and west by one family residentially zoned (R-1A) properties. To the south is the northern portion of Spicer Heights, which is single family residential PUD. To the east of the PUD is MX-PUD 98-9, which has high density residential (Lofts of Willow Creek) and office developments.



Zoning Changes

As stated above, the only permitted uses on the southern half of the PUD (south of Park Overlook Drive) are the following:

- i. Single Family Dwelling
- ii. Multi-Family Dwelling (no more than 2 units per building)
- iii. Private garages for the storage of vehicles of residents and employees.
- iv. Private swimming pools and club houses for use by residents and guests only.
- v. Those accessory buildings and accessory uses customarily incidental to the permitted principal uses.

The proposed Resolution recommends that Ordinances 06-25 and 10-16 be amended so that the only permitted uses south of Park Overlook Drive shall be:

- i. Nursing homes, assisted living facilities, adult day care and/or retirement communities.
- ii. Two-Family Dwellings (no more than 2 units per building), so long as density within the area associated with Two-Family Dwellings does not exceed density permitted in original Ordinance (2.47 du/ac).

By continuing to allow Two-family dwellings, there will be an opportunity for the construction of semi-independent or independent living duplexes within the southern portion of the PUD.

The 50-foot buffer along the southern boundary of the PUD as well as along Grange Hall Road will be maintained.

Recommendation

Based on this analysis, staff recommends approval of this request subject to the conditions outlined in the attached Resolution.



50-Foot Buffer

RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
October 5, 2016

RE: PUD 06-3 Amendment 9/16
First & Main Beaver creek

WHEREAS, the Granger Group, 2221 Health Drive SW, Suite 2200, Wyoming, Ohio 49519, agent for the property owner, has filed an application requesting approval of an amendment to Ordinance 06-25 to construct an assisted living facility on 12.27 acres. This property is further described as Book 1, Page 11, Parcels 67 on the property tax maps of Greene County, Ohio; and

WHEREAS, public hearing was held on October 5, 2016 by the Beaver creek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Planning Commission finds that the facts submitted with this application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Planned Unit Development approval as per §158.068 of the Zoning Code.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission recommends to the Beaver creek City Council:

SECTION I

1. All conditions of R-PUD 06-3 and Ordinance 06-25 and Ordinance 10-16 shall remain in full force and effect except where modified herein.
2. The plan stamped "Received September 12, 2016" highlights the area subject to this zoning amendment and shall be incorporated as part of this zoning amendment approval, except as further modified by the following conditions.
3. The principal and accessory uses permitted in this residential Planned Unit Development shall be amended as follows:
 - A. For the portion of the PUD, south of Park Overlook Dr., the following uses shall be permitted.
 - i. Nursing homes, assisted living facilities, adult day care and/or retirement communities.

- ii. Two-Family Dwelling (no more than 2 units per building), so long as density within the area associated with Two-Family Dwellings does not exceed density permitted in original Ordinance (2.47 du/ac).
- 4. There shall be a 50-foot buffer from the southern property line of the PUD and a 50-foot buffer along Grange Hall Road.
- 5. Building plans, designs, and elevations for a nursing home, assisted living facility, adult day care and/or retirement community, south of Park Overlook Dr. shall be subject to review and approval by the Planning Commission and City Council at the specific site plan stage. The majority of the exterior construction materials must consist of wood, stone, hardy plank and/or brick or other material acceptable to the Planning Commission and City Council at specific site plan stage.
- 6. The applicant shall be required to pay all applicable park fees and impact fees as determined by the City Engineer, City Manager, Planning Department, Parks Department, and/or City Attorney prior to releasing the record plan for recording.

SECTION II

These plans and all papers relating to the approved plan shall be submitted with this Resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED:

VOTING FOR ADOPTION:

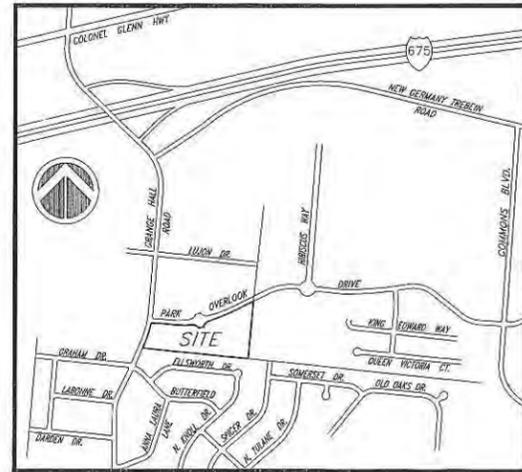
VOTING AGAINST:

ABSENT:

Chairman

Attest:

PUD 06-3 Amendment 9-16 First & Main Resolution



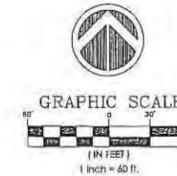
VICINITY MAP
1" = 1000'

Proposed
Plan

- NOTES:
- 1) PROPERTY IS ZONED R-PUD
 - 2) BOUNDARY INFORMATION FROM PARK OVERLOOK PARTNERS II RECORD PLAN AS RECORDED IN P.C. 38, PG 105A-106A
 - 3) TOPOGRAPHIC DATA FROM GREENE COUNTY GIS RESOURCES
 - 4) BUILDINGS AND DRIVES/ROADWAYS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS
 - 5) AREAS: BUILDINGS/DRIVES/PARKING = 1.9685 AC.
GRASS/LAWN = 10.2971 AC.
TOTAL = 12.2656 AC.
 - 6) PROPOSED BUILDINGS: ONE MULTI UNIT ASSISTED LIVING/MEMORY CARE FACILITY

LINE	BEARING	LENGTH
L1	N 12°25'21" E	84.84'
L2	S 84°39'49" E	109.03'
L3	S 88°28'39" E	68.51'
L4	S 84°39'49" E	155.38'
L5	N 89°48'14" E	64.18'
L6	N 83°26'05" E	19.19'
L7	S 62°08'54" E	13.45'
L8	N 61°30'00" E	16.51'
L9	N 76°45'17" E	28.24'
L10	N 69°58'19" E	18.51'
L11	N 86°00'23" E	2.88'
L12	N 68°25'40" E	8.05'
L13	N 68°25'40" E	57.84'

CURVE	RADIUS	ARC	BEARING	CHORD	DELTA
C1	100.00'	6.66'	S 86°34'14" E	6.65'	03°48'51"
C2	100.00'	6.66'	S 86°34'14" E	6.65'	03°48'51"
C3	830.00'	99.84'	S 88°06'35" E	99.78'	08°53'32"
C4	98.75'	59.32'	S 79°21'25" E	58.43'	34°25'00"
C5	53.75'	33.84'	S 44°06'46" E	33.28'	36°04'16"
C6	53.75'	36.24'	N 16°41'23" E	35.56'	38°38'01"
C7	98.75'	66.64'	N 55°20'16" E	65.38'	38°39'46"
C8	834.00'	7.26'	N 74°25'12" E	7.26'	00°29'55"
C9	830.00'	18.26'	N 69°00'35" E	18.26'	01°15'39"
C10	550.00'	46.82'	N 65°56'27" E	46.80'	04°52'37"



**FIRST AND MAIN
AT BEAVERCREEK**
**GRANGER
GROUP**
Park Overlook Drive

ENGINEER:

REINKE GROUP
959 Congress Park Drive
Dayton, OH 45459
(603) 407-8405

Engineering / Surveying / Land Planning
Landscape Architecture / GPS Surveying

2 WORKING DAYS
BEFORE YOU DIG

CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

DEVELOPER:

GRANGER GROUP
2221 HEALTH DRIVE SW
SUITE 2200
WYOMING, OH.
49519

REVISIONS:

DESIGNED BY: _____

DRAWING BY: _____ TTL

DATE: _____ Sept. 12, 2016

JOB NUMBER: _____

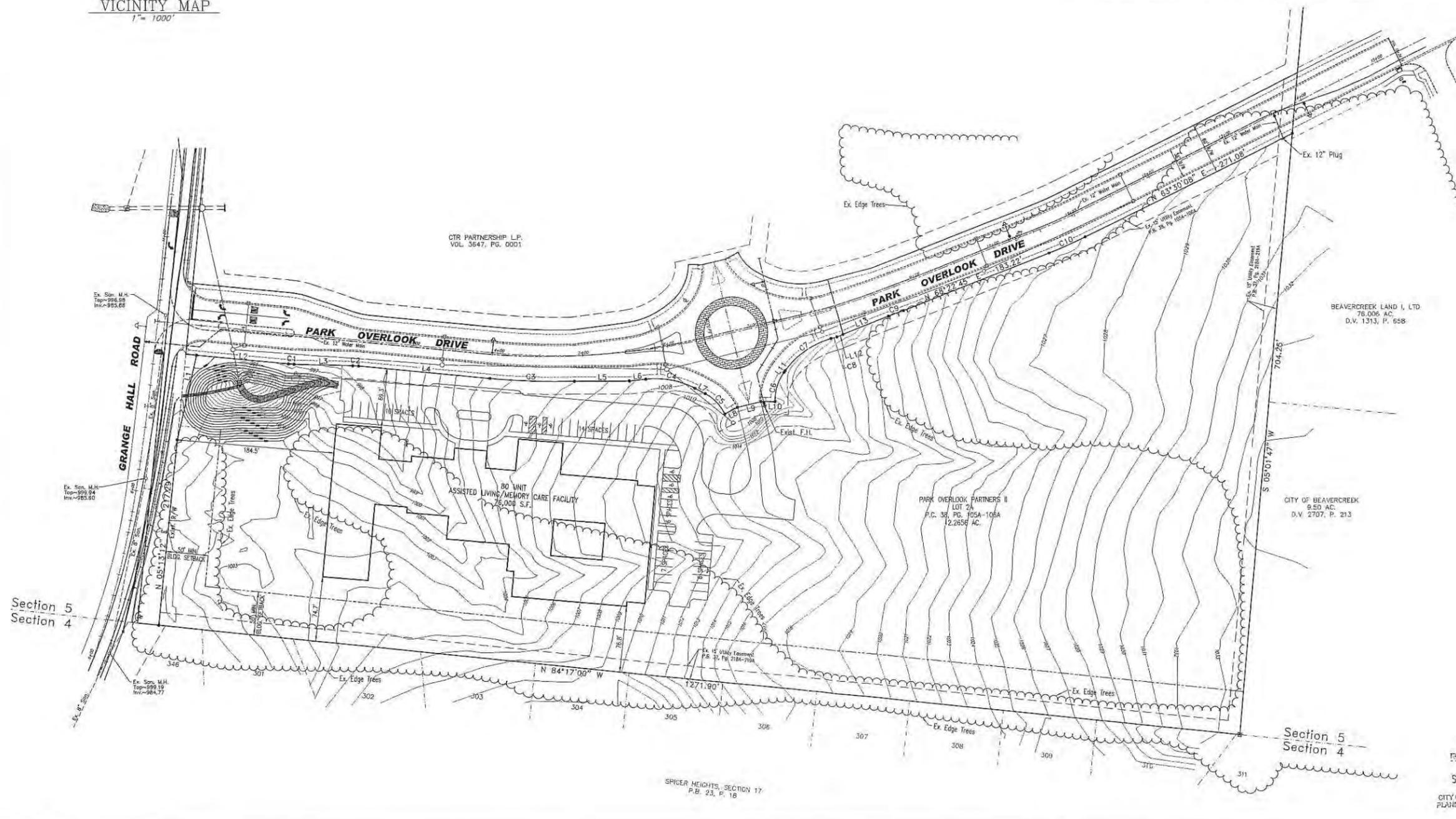
TITLE: _____

PUD AMENDMENT

SHEET NUMBER: _____

1

COMMENTS:



SPICER HEIGHTS, SECTION 17
P.B. 23, P. 18

RECEIVED
SEP 12 2016
CITY OF BEAVERCREEK
PLANNING DEPARTMENT

ORDINANCE NO. 06-25

CITY OF BEAVERCREEK
SPONSORED BY COUNCIL MEMBER Baker ON THE 23 TH
DAY OF October, 2006.

AN ORDINANCE AMENDING THE ZONING MAP, BY REZONING APPROXIMATELY 27.471 ACRES OF LAND LOCATED ON THE EAST SIDE OF GRANGE HALL ROAD APPROXIMATELY 400 FEET SOUTH OF LUJON DRIVE, FURTHER DESCRIBED AS BOOK 1, PAGE 11, PARCELS, 67, 68, 69, 70 AND 71 ON THE GREENE COUNTY TAX ATLAS, FROM A-1 AGRICULTURAL DISTRICT AND R-1A ONE FAMILY RESIDENTIAL DISTRICT TO R-PUD RESIDENTIAL PLANNED UNIT DEVELOPMENT (PUD 06-3).

Whereas, Donald L. Huber Development Corporation, 7333 Paragon Road, Suite 150, Dayton, Ohio 45459 has requested the rezoning; and

Whereas, the City of Beavercreek Planning Commission has recommended approval of the rezoning amendment with conditions and requirements; and

Whereas, the City Council finds that the facts submitted with the application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Planned Unit Development approval as per §158.065 of the Zoning Code; and

Whereas, the City Council finds that, pursuant to §158.071 of the Zoning Code, each and all of the excluded uses are inappropriate for this specific Planned Unit Development; and

WHEREAS, the City Council has voted to adopt the recommendation of the Planning Commission with modifications, this being a decision that requires approval by four members of Council;

NOW THEREFORE THE MUNICIPALITY OF BEAVERCREEK HEREBY ORDAINS:

SECTION I

That the Zoning Map referenced in §158.018 of the Zoning Code is hereby further amended to change approximately 27.471 acres of land located on the east side of Grange Hall Road approximately 400 feet south of Lujon Drive as such land and is more particularly described in Exhibit "A" attached hereto and incorporated herein, to R-PUD, Residential Planned Unit Development District.

SECTION II

1. The concept plan dated "Received October 18, 2006" is the approved plan and shall be incorporated as part of this zoning amendment approval except as further modified by the following conditions.
2. Principal and accessory uses permitted in this Residential Planned Unit Development shall be only the following:
 - A. Single-family dwellings
 - B. Multi-family dwellings (no more than 2 units per building)
 - C. Private garages for storage of vehicles of residents and employees
 - D. Private swimming pools and club houses for use by residents and guests only.
 - E. Those accessory buildings and accessory uses customarily incidental to the permitted principal uses.

3. The maximum number of residential units shall not exceed 68 units for the 27.471 acres included in this amendment.
4. There shall be a 60-foot buffer from north and south property lines of the PUD and a 50-foot buffer along the property lines shared with the residential lots fronting on Grange Hall Road as shown on the plan dated "Received October 18, 2006".
5. Proposed points of access, types of roads and vehicular circulation, as shown on the concept plan stamped "Received October 18, 2006," are subject to the City Engineer's final review and approval at specific site plan or subdivision stage.
6. Building plans, designs and elevations for residential structures within the 27.471-acre project shall be subject to review and approval by Planning Commission and City Council at specific site plan stage. The majority of the exterior construction materials must consist of wood, stone, hardy plank, and/or brick or other material acceptable to the Planning Commission and City Council at specific site plan stage.
7. The applicant shall be required to pay all applicable park fees and impact fees as determined by the City Engineer, City Manager, Planning Department, Parks Department, and/or the City Attorney prior to releasing the record plan for recording.

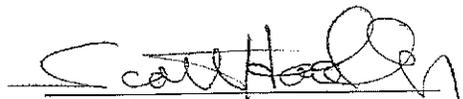
SECTION III

This Ordinance shall take effect from and after the earliest period allowed by law.

SECTION IV

It is hereby found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council, and that any and all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements, including, but not limited to Section 121.22 of the Ohio Revised Code.

PASSED this 27 day of November, 2006.



Mayor

ATTEST:



Clerk of Council

SUMMARY

This Ordinance adopts a recommendation to rezone approximately 27.471 acres of land located on the east side of Grange Hall Road approximately 400 feet south of Lujon Drive from A-1 Agricultural and R-1A One Family Residential District to R-PUD, Residential Planned Unit Development.

This is not an emergency ordinance and will become effective 30 days after passage.

ORDINANCE NO. 10-16
CITY OF BEAVERCREEK

SPONSORED BY COUNCIL MEMBER VANN ON THE 8TH DAY OF NOVEMBER, 2010.

AN ORDINANCE AMENDING ORDINANCE #06-25 TO CONSTRUCT AN 80,000 SQUARE FOOT NURSING HOME WITHIN THE 29.48-ACRE PUD. THIS PROPERTY IS DESCRIBED AS BOOK 1, PAGE 11, PARCELS 67, 68, 69, 70, 71, 72 AND 73 ON THE PROPERTY TAX MAPS OF GREENE COUNTY, OHIO (PUD 06-3, AMENDMENT 9/10).

WHEREAS, Jonathan Wochoer, McBride Dale Clarion, 5725 Dragon Way, Suite 220, Cincinnati, OH 45227, agent for the property owners, has requested this PUD Amendment; and

WHEREAS, the City of Beavercreek Planning Commission has recommended approval of this PUD Amendment with conditions and requirements; and

WHEREAS, the City Council finds that the facts submitted with the application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Planned Unit Development approval as per §158.071 of the Zoning Code; and

WHEREAS, the City Council has voted to adopt the recommendation of the Planning Commission with modifications, this being a decision that requires approval by four members of Council.

NOW THEREFORE THE MUNICIPALITY OF BEAVERCREEK HEREBY ORDAINS:

SECTION I

1. All conditions of R-PUD 06-3 and Ordinance #06-25 shall remain in full force and effect except where modified herein.
2. The two parcels, B42000100110007300 and B42000100110007200, currently zoned R-1A, totaling approximately 2.078 acres shall be incorporated into R-PUD 06-3.

3. The concept plan stamped "Received September 28, 2010" is the approved plan and shall be incorporated as part of this zoning amendment approval, except as further modified by the following conditions.
4. The site plan approved by City Council on March 12, 2007, stamped "Received Jan. 30, 2007", shall be amended. The 34 units approved on the north side of the future Park Overlook Drive, as shown on the concept plan are no longer permitted. The 34 units on the south side of the future Park Overlook Drive, as shown on the concept plan, are still permitted as approved on the January 30, 2007 site plan.
5. The principal and accessory uses permitted in this residential Planned Unit Development shall be the following:
 - A. For the portion of the PUD, north of the future Park Overlook Drive, as shown on the concept plan:
 - i. Nursing homes, assisted living facilities, adult day care and/or retirement communities.
 - B. For the portion of the PUD, south of the future Park Overlook Drive, as shown on the concept plan:
 - i. Single Family Dwelling
 - ii. Multi-Family Dwelling (no more than 2 units per building)
 - iii. Private garages for the storage of vehicles of residents and employees.
 - iv. Private swimming pools and club houses for use by residents and guests only.
 - v. Those accessory buildings and accessory uses customarily incidental to the permitted principal uses.
6. The maximum number of residential units within the 29.48 acre PUD shall be 34, which shall all be located south of the future Park Overlook Drive as shown on the concept plan.
7. There shall be an emergency access drive from this property to the right-of-way at Lujon Drive.
8. There shall be a 60-foot buffer from the north and south property lines of the PUD and a 50-foot buffer along Grange Hall Road. The 60-foot buffer along the northern property line shall include a landscape mound. This mound shall be extended from the northwest corner of the property up to, but shall end at, the emergency access point to Lujon Drive, and shall be shown as such on any specific site plan application that includes the western portion of the

PUD. The mound shall be extended to the northeast corner upon application of a specific site plan which includes construction on the eastern portion of the PUD.

9. Proposed points of access, types of roads and vehicular circulation, as shown on the concept plan stamped "Received September 28, 2010" are subject to the City Engineer's final review and approval at specific site plan or subdivision stage.
10. Building plans, designs, and elevations for a nursing home, assisted living facility, adult day care and/or retirement community, north of the future Park Overlook Drive shall be subject to review and approval by the Planning Commission and City Council at the specific site plan stage. The majority of the exterior construction materials must consist of wood, stone, hardy plank and/or brick or other material acceptable to the Planning Commission and City Council at specific site plan stage.
11. The applicant shall be required to pay all applicable park fees and impact fees as determined by the City Engineer, City Manager, Planning Department, Parks Department, and/or City Attorney prior to releasing the record plan for recording.

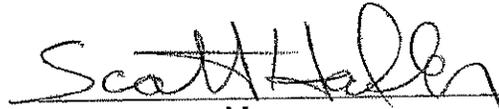
SECTION II

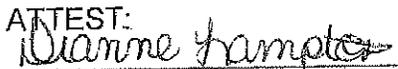
This Ordinance shall take effect from and after the earliest period allowed by law.

SECTION III

It is hereby found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council, and that any and all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements, including, but not limited to Section 121.22 of the Ohio Revised Code.

PASSED this 13th day of December, 2010.


Mayor

ATTEST:

Clerk of Council

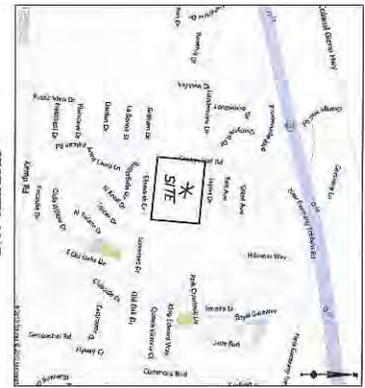
SUMMARY

This Ordinance adopts a recommendation to amend Ordinances #06-25 to construct an 80,000 square foot nursing home within the 29.48-acre PUD.

This is not an emergency ordinance and will become effective 30 days after passage.

PUD 06-3 Amendment 9-10 Liberty Nursing Ordinance

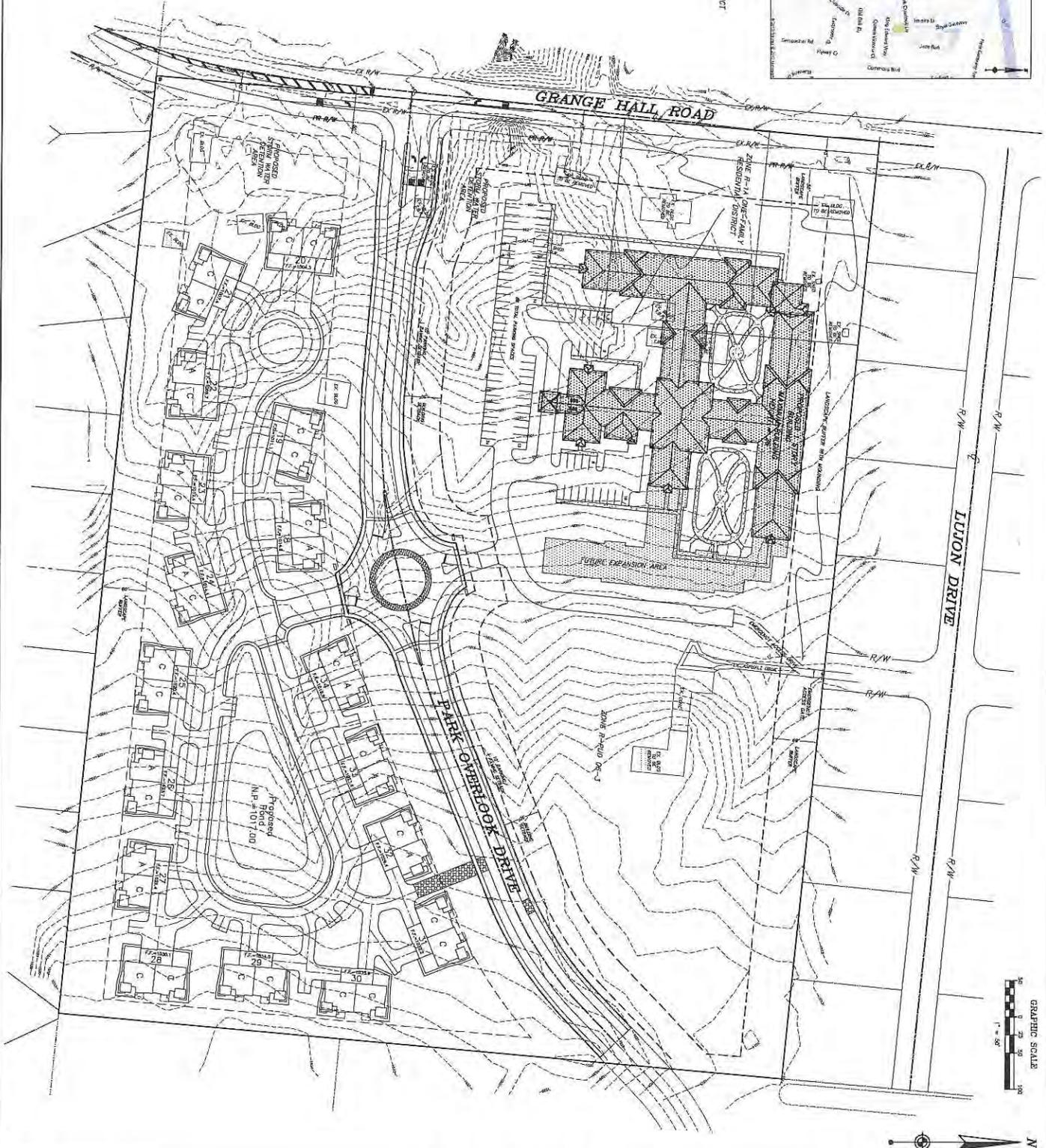
Current Concept Plan
 Approved
 December 2010



EXISTING ZONING - R-14, CAC-PLANET RESIDENTIAL DISTRICT
 PROPOSED ZONING - R-14D
 TOTAL AREA OF PUD - 25.46 ACRES ±

The utility information shown on this plan is provided by various utility companies. It is the responsibility of the user to verify the accuracy of the information and to obtain the appropriate utility company for field location.

UNDERGROUND UTILITIES
 REFER TO THE
 BEHAVIORAL Dwg
 FOR THE
 CAC UTILITIES PROTECTION SERVICE
 AND THE UTILITIES MUST BE CALLED OUT.



PRELIMINARY SITE PLAN
 LIBERTY NURSING CENTER OF BEAVERCREEK
 SECTION 5, TOWN 2, RANGE 7
 CITY OF BEAVERCREEK
 GREENE COUNTY, OHIO

tga
 THOMAS
 GRAHAM
 ASSOCIATES, INC.
 • Engineers
 • Surveyors
 603 Conover Road
 Cincinnati, Ohio 45231
 Tel # 513-243-2130

Date: SEPT. 23, 2010
 Scale: 1" = 50'
 Job No.: 7727

No.	Revisions

Drawn By: S.M. HENKING
 Sheet:

ACAD FILENAME: 7727_STUDY.DWG

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: October 5, 2016	Reference Topic PUD 91-2 MOD 9-16 (MAJOR)
Agenda Reference No.	BSM Development

ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

REQUEST BY APPLICANT:

The applicant is requesting approval to modify the existing site plan for PUD 91-2, in order to allow for the construction of a 4,800 square foot retail building within the Shoppes at Fairfield Commons.

STAFF RECOMMENDATION:

Staff is recommending approval of this Major Modification as outlined in the attached Resolution.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, disapproval, modification or table the attached application for further review.

CITY OF BEAVERCREEK STAFF REPORT

September 28, 2016

CASE NUMBER: PUD 91-2 MOD 9/16 (Major) BSM Development
Major Modification 02/13

APPLICANT: BSM Development LLC
3011 Armory Dr. Suite 120
Nashville TN 37204

REQUEST

The applicant is requesting approval to modify the existing site plan for PUD 91-2, in order to allow for the construction of a 4,800 square foot retail building within the Shoppes at Fairfield Commons.

Zoning Approval

The specific site plan for the Shoppes at Fairfield Commons was granted approval in 1996 and included 31.332 acres. Because that approval is still in effect, the applicant is seeking a major modification to make additional changes to the original approved plan, which is attached. The 1996 plan shows that there was intended to be a total of 40,000 square feet in outlot building space dispersed among three buildings. With this submission, should it be approved, the total square footage in outlot buildings would be 26,709 square feet. Although this is a significant decrease in square footage, because the number of buildings has increased and no architectural plans were previously approved, this request requires major modification approval.

ANALYSIS

Building Design

As seen in the attached architectural elevations, the applicant is proposing to construct a single-story, primarily brick and EIFS retail building. The majority of the construction material used will be a dark red brick veneer. The remaining portion of the building will be constructed of tan colored EIFS. The base consists of a lighter brick that extends to all four elevations. The proposed materials are consistent with the other recently approved structures within this Planned Unit Development. The applicant has including a sight line study demonstrating that the roof top units will be screened by the EIFS parapet and will not be visible from either North Fairfield Road or the access roads.

Access and Transportation Improvements

The proposed ingress and egress point for this site will be off of the existing IHOP access. No new access points are permitted due to the close proximity of this site to the North Fairfield access road. The proposed sidewalk will be connected from the IHOP property line and will extend along the access road and up to the existing side path on North Fairfield Road.

Parking

The Zoning Code's parking calculation for a retail building requires that retail sites maintain one parking space for each 250 square feet of floor area. By subtracting 15% in order to exclude mechanical areas, hallways, and restrooms, this development must have at least 16 parking spaces and 1 handicap accessible space. The applicant is proposing 24 spaces which exceeds that requirement. PUD 91-2 also has cross parking and cross access easements in place which allow all tenants of the PUD to utilize all of the parking within the entire development.

Screening, Landscaping and Open Space

Because there is a significant amount of landscaping already in place at the entrance to the Shoppes at Fairfield comments, the proposed landscaping is minimal but adequate. The final landscape plan will need to be reviewed and approved by staff prior to the release of a zoning permit.

Lighting

The applicant is proposing wall sconces on three elevations of the building as well as three light poles within the parking field. A condition of approval will require that the light poles match in height and design those that were installed at the IHOP development. All light poles are also required to be located within landscape islands and not within any parking area. The final photometric plan will require additional review and approval prior to the release of the zoning permit.

Signage

Wall signs will be permitted on three of the four elevations: the North, West, and East. Signage will be prohibited on the back of the building which faces the IHOP. Wall Signage shall be limited to two square feet of sign area per linear foot of store frontage, per the original SSP approval. The applicant has also included a proposed ground sign, which will not be allowed to be any taller than 4 feet, in order to be consistent with other ground signs within the PUD. No temporary signage will be permitted with the exception of a construction sign prior to opening, and per the Code, only 50% of the interior of any window may be covered by signage.

RECOMMENDATION

Based on this analysis, staff recommends approval of this request subject to the conditions outlined in the attached Resolution.

RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
October 5, 2016

RE: PUD 91-2 MOD 9-16
BSM Development

WHEREAS, BSM Development, LLC, 3100 Armory Drive, Suite 120, Nashville TN 37204, has filed an application requesting approval of a Major Modification of the Specific Site Plan for The Shoppes at Fairfield Commons for the construction of a 4800 square foot retail building; and

WHEREAS, public hearing was held on October 5, 2016 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Planning Commission finds that the facts submitted with this Major Modification application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for a Major Modification to a Specific Site Plan approval as per §158.070 of the Zoning Code; and

WHEREAS, the Beavercreek Planning Commission is taking administrative action in approving this Major Modification to the Specific Site Plan.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission recommends to the Beavercreek City Council:

SECTION I

The Beavercreek Planning Commission recommends to Beavercreek City Council approval of this Major Modification to the Specific Site Plan for the Shoppes at Fairfield Commons to allow for the construction of a 4800 square foot retail building, with the following conditions and requirements.

SECTION II

1. All conditions contained within PUD 91-2, SSP #1 and all subsequent modifications to PUD 91-2 are incorporated herein by reference to the extent they are not specifically amended or altered by any plans and conditions with this Major Modification.

2. The approved site plan, architectural elevations and landscape plan shall be those plans dated "Received September 28, 2016" except as modified herein.
3. All roof top units are to be screened from all directions with architectural features (roof forms or parapet walls) on each building. Pad mounted equipment must be screened with landscaping and/or masonry walls and shall not be visible to the public.
4. A PUD Agreement must be signed by the owner/occupant and a bond or letter of credit for the required site landscaping must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
5. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally planted, within three months, weather permitting.
6. All trash collection containers shall be enclosed within the building or screened from view and enclosed within a permanent dumpster enclosure. All dumpster enclosures shall be constructed with the same materials used to construct the building. The dumpster enclosure's gate shall be constructed of a vinyl or composite material, or other material, to be approved by the Planning Department.
7. Temporary signs shall not be permitted within this development with the exception of a construction sign that will be allowed during construction of the project.
8. All concerns of the City Engineer, Fire Department, Sanitary Engineer and the Planning Department shall be addressed and approved prior to the release of a zoning permit.
9. The façade shall not be painted or altered without the express permission of the Planning Department and/or the Planning Commission.
10. A final landscape plan and final photometric plan shall be reviewed and approved by the Planning Department prior to the execution of the required PUD Agreement and the release of a zoning permit for the building.

11. The proposed light fixtures must match, in height and design, those of the IHOP development. No light poles may be located outside of any landscape area.
12. This outlot shall be allowed one ground sign that can be up to 4 feet tall with 32 square feet per sign face. The design of the ground sign shall include a masonry base and sides that shall be constructed of similar material to those on the proposed building.
13. This outlot shall be allowed two square feet of wall signage for each linear foot of building frontage not to exceed 250 square feet with a maximum letter height of 48". Wall signs shall only be permitted on the North, West, and East elevations.
14. The westernmost parking space shall be removed and replaced with a landscape island containing additional landscaping consistent with the rest of the development.
15. A replat of Lot 9A of the Shoppes at Fairfield Commons shall be recorded with all water and sewer easements accepted by the County prior to the issuance of a zoning permit.

SECTION III

These plans and all papers relating to the approved plan shall be submitted with this resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED:

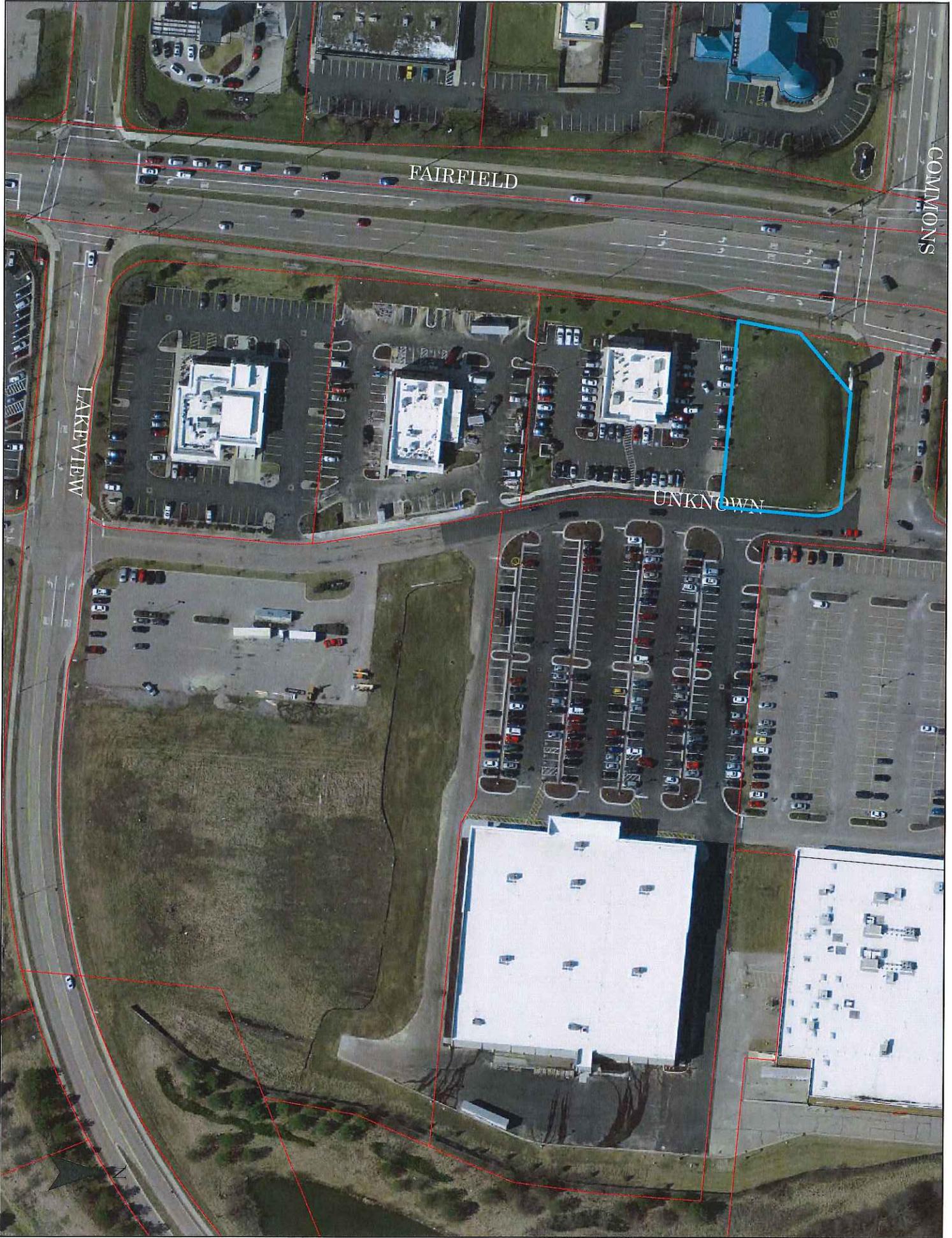
VOTING FOR ADOPTION:

VOTING AGAINST:

ABSENT:

Attest:

Chairman



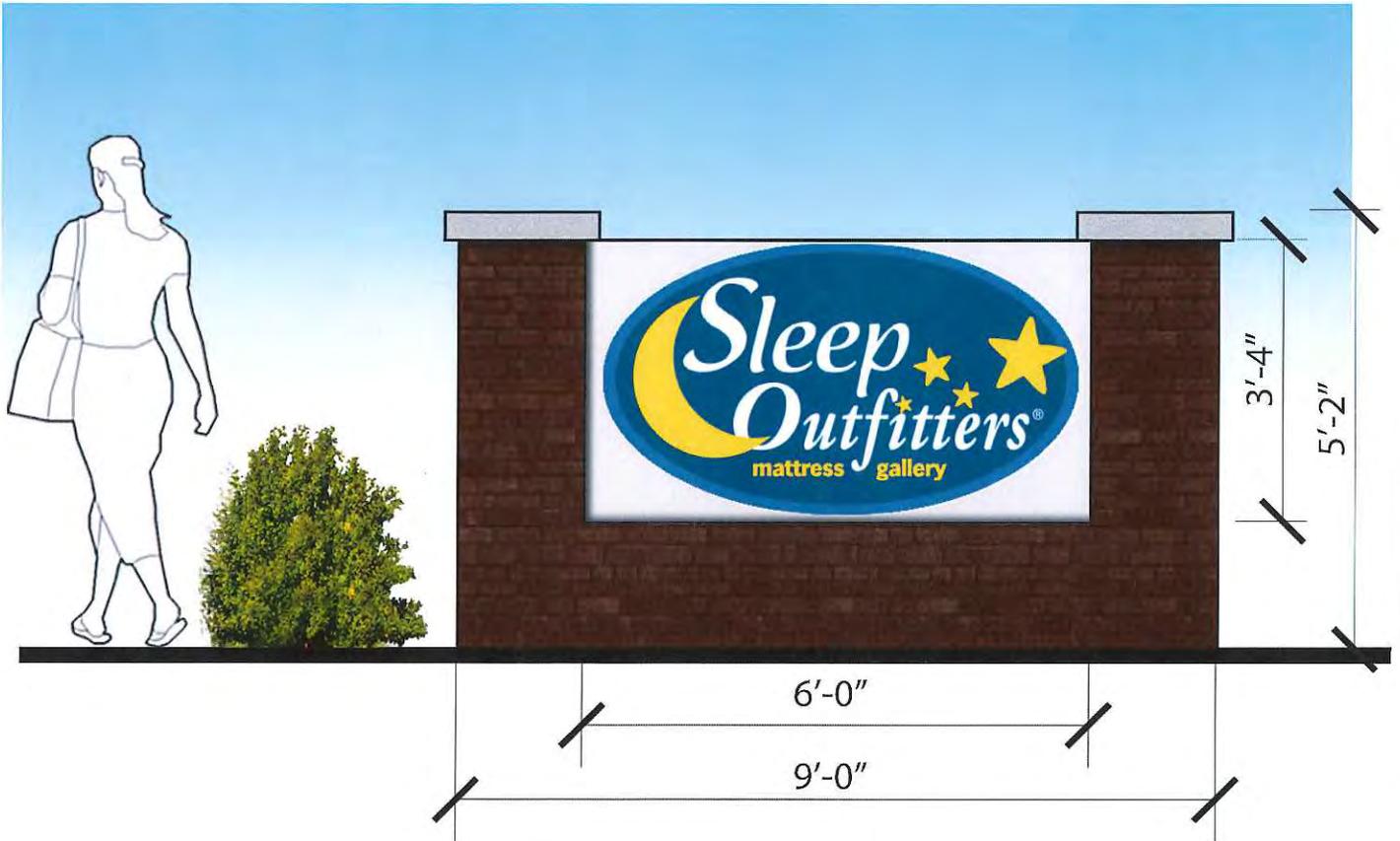
COMMONS

FAIRFIELD

LAKEVIEW

UNKNOWN

1 Inch = 125 feet



RECEIVED

SEP 28 2014

CITY OF BEAVERCREEK
PLANNING DEPARTMENT

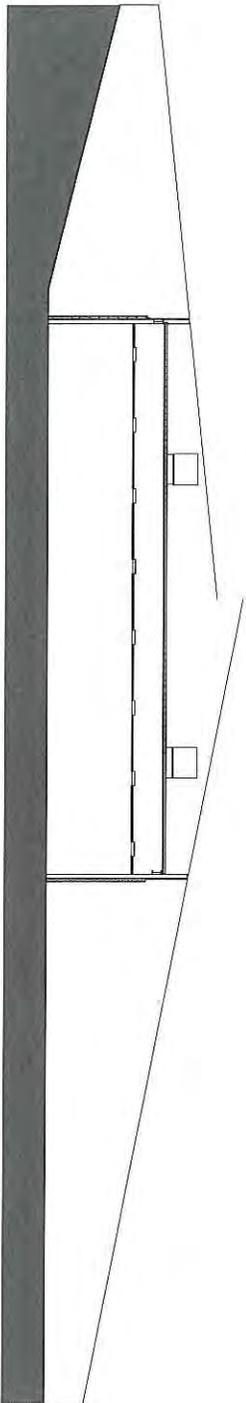


SLEEP OUTFITTERS
BEAVERCREEK, OH
09.28.16



MJM ARCHITECTS 712 4th Ave S Nashville, TN 37210
Phone: 615-244-8170 Fax: 615-244-8141 www.mjmach.com

Baker Storey McDonald Properties, Inc.
3011 Armory Drive
Suite 120
Nashville, TN 37204



① SIGHT LINE STUDY
1/8" = 1'-0"



MJM ARCHITECTS | 712 4th Avenue South | Nashville, TN 37210
Phone: 615-244-8170 Fax: 615-244-8141 www.mjmachtn.com

SLEEP OUTFITTERS BEAVERCREEK, OH

09.28.16

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SEP 28 2016

CITY OF BEAVERCREEK
PLANNING DEPARTMENT



Baker Stoney McDonald Properties, Inc.
3011 Army Drive
Suite 120
Nashville, TN 37204

BEAVERCREEK

BSM DEVELOPMENT, LLC

COMMERCIAL LAND DEVELOPMENT PLAN AT THE SHOPPES AT FAIRFIELD COMMONS CITY OF BEAVERCREEK, GREENE COUNTY OH, 45431

ENGINEER:
CESO, INC.
2800 CORPORATE EXCHANGE DR.
SUITE 160
COLUMBUS, OHIO 43231
CONTACT: ZACH FRESHNER
PHONE: (614) 942-3032
EMAIL: FRESHNER@CESOINC.COM

SURVEYOR:
CESO, INC.
8534 YANKEE ST., SUITE 2B
DAYTON, OHIO 45458
CONTACT: BRYANT ABT
PHONE: (937) 401-3599
EMAIL: ABT@CESOINC.COM

DEVELOPER:
BSM DEVELOPMENT LLC
CONTACT: DAVID A. RUTTER
PHONE: (615) 252-2346

ARCHITECT:
TBD

GOVERNING AGENCIES AND UTILITY COMPANIES:
VARIOUS UTILITIES THAT DO WORK WITHIN VARIOUS PARTS OF THE CITY/COUNTY ARE LISTED BELOW AS AN INITIAL AID TO THE ENGINEER. PLEASE VERIFY LOCAL UTILITIES IN THE VICINITY OF THE SITE AND INCLUDE THEIR CONTACT INFORMATION ON THE PLANS ACCORDING TO THE FOLLOWING FORMAT.

SEWER:
GREENE COUNTY SANITARY ENGINEERING
667 DAYTON XENIA RD
BEAVERCREEK TWP, OH 45385
PHONE: (937) 582-7450

GAS SERVICE:
VECTREN OF OHIO
1335 E. DYTIN YLW SPGS RD.
FAIRBORN, OH 45324
PHONE: (600) 227-1376

WATER:
GREENE COUNTY SANITARY ENGINEERING
667 DAYTON XENIA RD
BEAVERCREEK TWP, OH 45385
PHONE: (937) 582-7450

COMMUNICATIONS:
TW TELECOM INC.
1 S MAIN ST.
DAYTON, OH 45402
PHONE: (937) 228-0165

STORMWATER:
CITY OF BEAVERCREEK ENGINEERING DEPARTMENT
1368 RESEARCH PARK DR.
BEAVERCREEK, OH 45432
PHONE: (937) 427-5513

ELECTRIC:
DAYTON POWER AND LIGHT
1065 WOODMAN RD.
DAYTON, OH 45432
PHONE: (600) 433-8500

ZONING:
CITY OF BEAVERCREEK ZONING DEPARTMENT
1368 RESEARCH PARK DR.
BEAVERCREEK, OH 45432
PHONE: (937) 427-5512

PROPERTY DATA:

PARCEL OWNER: JFAL HOLDING COMPANY LLC
PARCEL ID: B4200040060011300
ADDRESS: THE SHOPPES AT FAIRFIELD COMMONS
CITY OF BEAVERCREEK
GREENE COUNTY, OHIO
PROPERTY AREA: 0.5262 ACRES (22,922 SQ.FT.)
ZONING: COMMERCIAL PLANNED DEVELOPMENT (C-PUD)
EXISTING USE: VACANT LOT
PROPOSED USE: COMMERCIAL/ RETAIL USE

	REQUIRED/ PERMITTED	PROPOSED
BUILDING SETBACKS		
FRONTAGE ALONG STREET:	40' (N. FAIRFIELD RD.)	40'
PARKING SETBACKS:	10'	10'
SIGN SETBACKS:	N/A	N/A
MAXIMUM BUILDING HEIGHT:	70'	25'
BUILDING COVERAGE:	35%	20%
IMPERVIOUS COVERAGE:	75% MAX.	69%
PARKING:		
TOTAL PARKING SPACES:	20	24
ADA PARKING SPACES:	1	1

PARKING REQUIREMENTS ARE AS FOLLOWS:
RETAIL: ONE SPACE FOR EACH 250 SQUARE FEET OF GROSS FLOOR AREA.
4,800 / 250 = 20

SHEET INDEX			
SHEET	SHEET DESCRIPTION	REVISION	ISSUE DATE
C1.0	TITLE SHEET		09/28/2016
C2.0	EXISTING CONDITIONS AND DEMOLITION PLAN		09/28/2016
C4.0	SITE PLAN		09/28/2016
C5.0	GRADING PLAN		09/28/2016
C6.0	UTILITY PLAN		09/28/2016
C8.0	LANDSCAPE PLAN		09/28/2016
C9.0	SITE LIGHTING PLAN		09/28/2016



RECEIVED
SEP 28 2016
**CITY OF BEAVERCREEK
PLANNING DEPARTMENT**

BENCHMARK DATUM: NAVD83
BM "A": CHISELED SQUARE IN LIGHT POLE BASE
977.16

FLOODPLAIN DESIGNATION:
ACCORDING TO F.L.R.M. NO. 39097C0018D, BEARING AN EFFECTIVE DATE OF 3/17/2011, THE SUBJECT PROPERTY IS LOCATED IN A ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN

OHIO Utilities Protection SERVICE
811 or 1-800-362-2764 Call Before You Dig

FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1/800/362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

REVISIONS	NO.	DATE	DESCRIPTION

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Engineering • Architecture • Survey • Construction Mgmt • Environmental

TITLE SHEET
BSM DEVELOPMENT, LLC
BEAVERCREEK
OH

ISSUE:
PLANNING RESUBMITTAL
DATE: 09/28/2016
JOB NO.: 751510-02
DESIGN: NBH
DRAWN: NBH
CHECKED: ZDF
SHEET NO.
C1.0



DEMOLITION PLAN NOTES

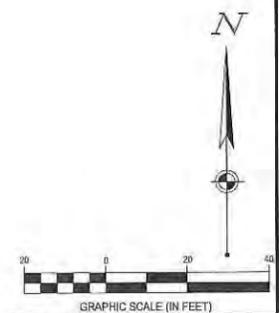
1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. THE DEMOLITION PLANS IS INTENDED TO SIMPLIFY THE DRAWINGS, AND DOES NOT GUARANTEE THAT ALL ITEMS ARE ADDRESSED.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. ALL UTILITIES UNDERNEATH THE BUILDING PAD SHALL BE REMOVED COMPLETELY.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER AND LOCAL JURISDICTION PRIOR TO CONSTRUCTION START.
8. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
9. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED. REFER TO STORMWATER POLLUTION PREVENTION PLAN.
10. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR STORM INLET STRUCTURES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN. ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
11. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR. SAWCUT SHOWN IS FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THAT WHICH IS NECESSARY TO COMPLETE THE INTENT OF THE PROPOSED IMPROVEMENTS.
12. DAMAGE TO ANY EXISTING STRUCTURES OR SITE FEATURES TO REMAIN MUST BE REPLACED AT CONTRACTOR'S EXPENSE.
13. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED DEMOLITION PERMITS, AND ALL REQUIRED INSPECTIONS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PHASING OF DEMOLITION, WHEN THAT DEMOLITION MAY IMPACT TRAFFIC, ACCESS OF UTILITIES TO NEIGHBORS, OR FACILITIES TO REMAIN, AND OTHER SURROUNDING INFRASTRUCTURE OR FACILITIES.

CODED NOTES:

1. CONTRACTOR TO PROTECT EXISTING STORM PIPE TO REMAIN IN PLACE. REFER TO GRADING PLAN FOR PROPOSED STORM IMPROVEMENTS.
2. CONTRACTOR TO PROTECT EXISTING EXISTING SANITARY SEWER TO REMAIN IN PLACE.
3. CONTRACTOR TO PROTECT EXISTING EXISTING ELECTRICAL STRUCTURES AND LINES TO REMAIN IN PLACE.
4. CONTRACTOR TO PROTECT EXISTING EXISTING GAS AND LINES TO REMAIN IN PLACE.
5. CONTRACTOR TO PROTECT EXISTING TREE TO REMAIN IN PLACE.
6. CONTRACTOR TO PROTECT EXISTING SHRUBS TO REMAIN IN PLACE.
7. EXISTING SIGN TO BE REMOVED.
8. EXISTING TREE TO BE REMOVED, SEE LANDSCAPE PLAN FOR DETAILS. IF POSSIBLE, TREE TO BE REUSED AND RELOCATED IN PROPOSED LOCATIONS SHOWN ON LANDSCAPE PLAN.
9. EXISTING ENCROACHING LIGHT POLE TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH OWNER REPRESENTATIVE ON RELOCATION. PROPOSED LOCATION PROVIDED ON SITE PLAN, SHEET C4.0.
10. EXISTING ENCROACHING SPRINKLER HEADS TO BE PROTECTED IN PLACE. CONTRACTOR TO CONFIRM LOCATION SPRINKLER SYSTEM LINE BEFORE FOOTER EXCAVATION.

LEGEND

EXISTING	PROPOSED



OHIO Utilities Protection SERVICE
 811 or 1-800-362-2764 Call Before You Dig

FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

BENCHMARK DATUM: NAVD88
 BM "A", CHISELED SQUARE IN LIGHT POLE BASE
 977.16'

REVISIONS NO.	DATE	DESCRIPTION



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EXISTING CONDITIONS AND DEMOLITION PLAN

BSM DEVELOPMENT, LLC
 BEAVERCREEK OH

ISSUE: PLANNING RESUBMITTAL
 DATE: 09/28/2016
 JOB NO.: 751510-02
 DESIGN: NBH
 DRAWN: NBH
 CHECKED: ZDF
 SHEET NO. C2.0



SITE GENERAL NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF BEAVERCREEK, ODOT AND O.S.H.A. STANDARDS, THE CONTRACTOR SHALL OBTAIN FINAL APPROVALS/PERMITTING AND INSPECTION AS NECESSARY PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND SITE LIGHTING ELECTRICAL LAYOUT.
- ALL DIMENSIONS ARE MEASURED TO THE FACE OF CURB OR FACE OF BUILDING, WHERE APPLICABLE.
- REFER TO CONSTRUCTION DETAILS/ GEOTECHNICAL REPORT FOR PAVEMENT SECTION RECOMMENDATIONS.
- ALL LIGHTPOLES TO BE LOCATED 3' FROM THE BACK OF CURB, AS MEASURED FROM THE FACE OF POLE FOUNDATION, UNLESS OTHERWISE DENOTED ON PLANS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL, ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION), ODOT ITEM 614.
- CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS. AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION, CONTRACTOR SHALL PROVIDE SAFETY RAILINGS AT ALL AREAS WHERE FALL PROTECTION IS REQUIRED.
- ALL SIGNAGE SHALL COMPLY WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (O.M.U.T.C.D.)
 - STOP SIGN (R1-1 PER SECTION 28.06 O.M.U.T.C.D.)
- ALL PAVEMENT MARKINGS AND STRIPING SHALL COMPLY WITH ODOT ITEM 641 AND OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (O.M.U.T.C.D.)
 - LANE LINE: 6" WHITE (PER SECTION 38.04 O.M.U.T.C.D.)
 - PARKING STALLS: 4" YELLOW (PER SECTION 38.19 O.M.U.T.C.D.)
 - STOP LINE: 12" WHITE (PER SECTION 38.18 O.M.U.T.C.D.)
 - CROSSWALKS: TRANSVERSE LINES WITH DIAGONAL MARKINGS PER SECTION 38.17 (GAP BETWEEN TRANSVERSE LINES SHALL BE 4') ALL PAINTED WHITE.
- BOLLARDS SHALL BE PLACED TO PROTECT GAS METER, ELECTRICAL AND TELEPHONE EQUIPMENT, AND DUMPSTER ENCLOSURE.
- ALL DISTURBED AREAS ARE TO RECEIVE 4" INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL CURBED RADII ARE TO BE 5' UNLESS OTHERWISE NOTED.

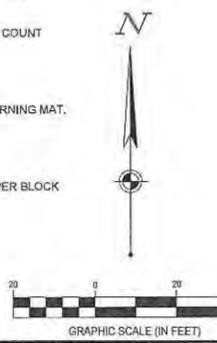
CODED NOTES:

- PROPOSED 4,800 SF BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED TRASH ENCLOSURE PER LOCAL REQUIREMENTS. DUMPSTER BUILDING MATERIALS SHALL MATCH BUILDING. SEE ARCHITECTURAL PLANS FOR DETAIL.
- PROPOSED 6" STRAIGHT CURB. REFER TO CONSTRUCTION DETAILS.
- PROPOSED INTEGRAL CONCRETE CURB AND SIDEWALK.
- PROPOSED CONCRETE SIDEWALK. SIDEWALK IN RIGHT OF WAY SHALL BE CONSTRUCTED PER CITY REQUIREMENTS.
- PROPOSED CURB RAMP. REFER TO CONSTRUCTION DETAILS.
- ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAILS.
- ADA ACCESSIBLE RAMP WITH DETECTIBLE WARNING STRIP. REFER TO CONSTRUCTION DETAILS.
- PROPOSED 6" CONCRETE BOLLARD. REFER TO CONSTRUCTION DETAILS.
- PROPOSED CONCRETE BUMPER BLOCK. REFER TO CONSTRUCTION DETAILS.
- PROPOSED PARKING LOT PAVEMENT MARKINGS.
- PROPOSED LIGHT POLE. REFER TO CONSTRUCTION DETAILS.
- PROPOSED ASPHALT PAVEMENT. REFER TO CONSTRUCTION DETAILS.
- PROPOSED PAVEMENT TRANSITION. REFER TO TYPICAL SAWCUT DETAIL.
- PROPOSED MONUMENT SIGN.
- PROPOSED RELOCATED LIGHT POLE LOCATION. CONTRACTOR TO COORDINATE WITH OWNER BEFORE CONSTRUCTION.

LEGEND

- EXISTING**
REFER TO EXISTING CONDITIONS PLAN
- PROPOSED**
- BUILDING
 - CONCRETE CURB
 - PAVEMENT/WALK
 - PROPOSED ASPHALT PAVEMENT.
 - PROPOSED CONCRETE WALK AND PAVEMENT
 - PARKING SPACE COUNT
 - SIGN
 - DETECTABLE WARNING MAT.
 - LIGHT POLE
 - CONCRETE BUMPER BLOCK

NOTE: REFER TO CONSTRUCTION DETAILS SHEET



OHIO Utilities Protection Service
811 or 1-800-362-2764 Call Before You Dig

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BENCHMARK DATUM: NAVD83
BM "A": CHISELED SQUARE IN LIGHT POLE BASE
97.10'

REVISIONS	DATE	DESCRIPTION

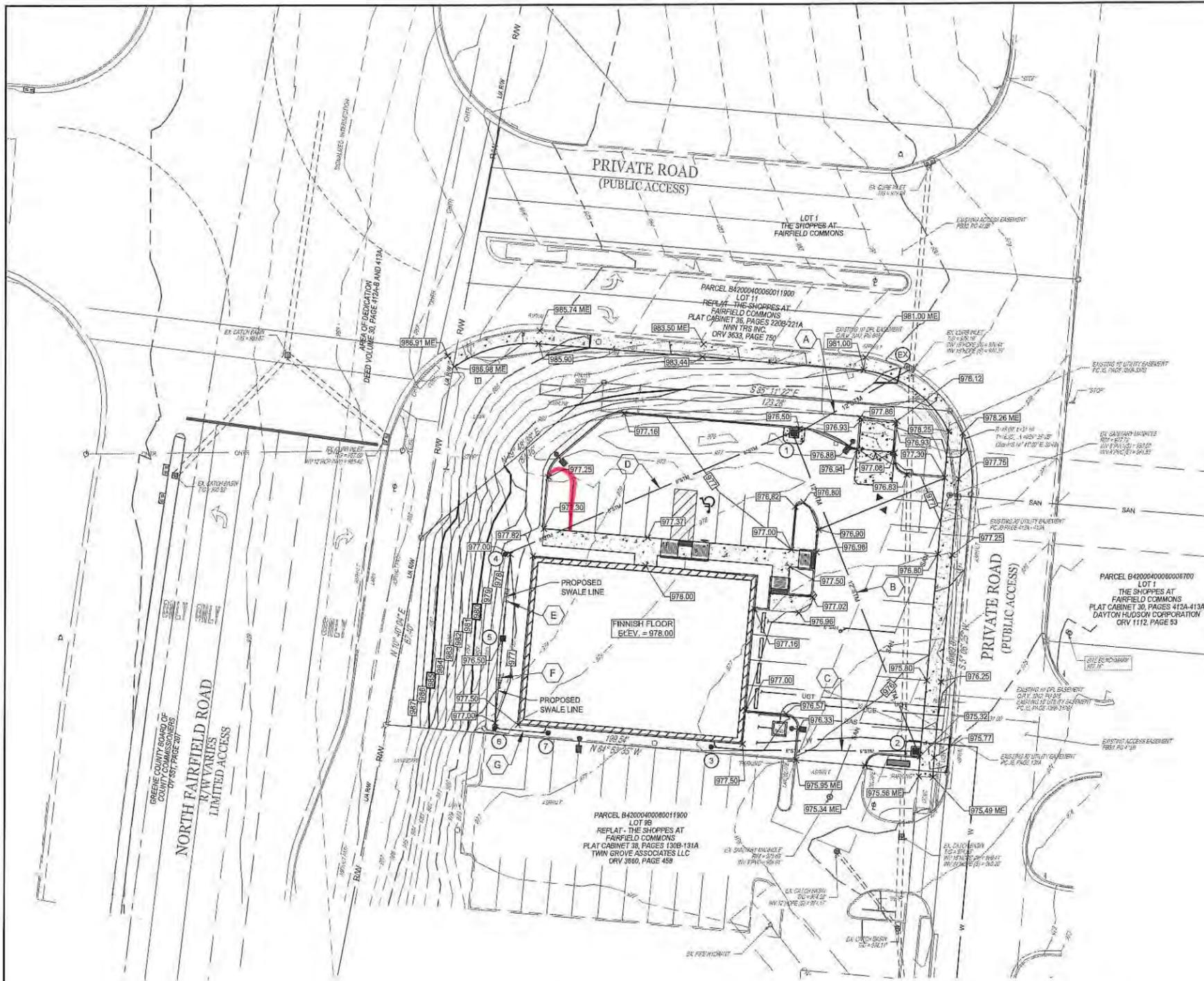


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SITE PLAN
BSM DEVELOPMENT, LLC
BEAVERCREEK

ISSUE/PLANNING RESUBMITTAL DATE:	09/28/2018
JOB NO.:	751510-02
DESIGN:	NBH
DRAWN:	NBH
CHECKED:	ZDF
SHEET NO.:	C4.0



GRADING PLAN NOTES

- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF EXISTING UNSUITABLE FILL WHERE ENCOUNTERED. ALL ABANDONED UTILITIES UNDERNEATH THE PROPOSED BUILDING SHALL BE REMOVED IN THEIR ENTIRETY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL TOPSOIL MUST BE REMOVED BEFORE FILL IS PLACED. PRIOR TO GRADING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED. REFER TO STORMWATER POLLUTION PREVENTION PLAN.
- ALL WET, OR OTHERWISE UNSUITABLE, SOILS MUST BE STABILIZED. THIS MAY BE ACCOMPLISHED BY DRYING, REMOVAL & REPLACEMENT, REMOVAL & DRYING & RECOMPACTION, OR SOIL TREATMENT (LIME/CEMENT).
- ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND THE STORM WATER POLLUTION PREVENTION PLAN.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL DISTURBED AREAS ARE TO RECEIVE 4'-6" OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR SHALL CONSTRUCT SIDEWALKS SUCH THAT 2% IS THE MAXIMUM CROSS SLOPE, AND 5% IS THE MAXIMUM TRANSVERSE SLOPE, AND CURB RAMP SHALL BE CONSTRUCTED PER ODOT DETAILS, AND THE MAXIMUM SLOPES SHALL NOT BE EXCEEDED. FORMS SHALL BE PLACED FOR SIDEWALK AREA AND THE SLOPES ARE TO BE VERIFIED PRIOR TO PLACING CONCRETE. IF SLOPES BECOME AN ISSUE, CONTRACTOR SHALL CONTACT THE ENGINEER.
- CURB AND GUTTER SHALL PITCH OUT WHERE GRADING IS SLOPED AWAY FROM THE CURB AND SHALL PITCH IN WHEN GRADING IS SLOPED TOWARDS THE CURB. THE PITCH OF THE GUTTER SHALL MATCH PARKING LOT GRADES.
- CONTRACTOR SHALL MAINTAIN A MAXIMUM 2% SLOPE IN ADA ACCESSIBLE/HANDICAPPED PARKING LOT AREA.

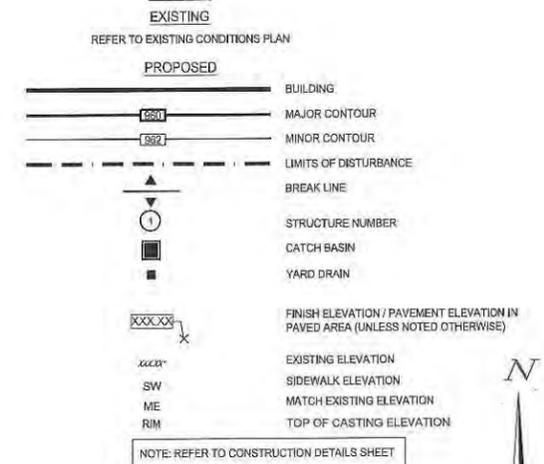
STORM SEWER NOTES:

- ALL STORM SEWER PIPES SHALL BE MANUFACTURED WITH INTEGRAL BELL AND SPIGOT JOINTS INCLUDING A GASKET, SO AS TO PROVIDE A WATERTIGHT SEAL.
- ALL STORM SEWER PIPES LESS THAN 12" DIAMETER SHALL BE PVC SDR 35 WATERTIGHT PIPE CONFORMING TO ASTM SPECIFICATION D3034, UNLESS DENOTED OTHERWISE ON PLANS.
- ALL STORM SEWER PIPES 12" DIAMETER AND GREATER SHALL BE HDPE N-12, WATERTIGHT PIPE AS MANUFACTURED BY ADS, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLANS.
- CONNECTIONS TO STRUCTURES SHALL BE MADE WATERTIGHT WITH NON-SHRINKING AND NON-CORROSIVE GROUT.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 REINFORCED CONCRETE PIPE (RCP) (PER ASTM C-76 CLASS IV)
 POLYVINYL CHLORIDE (PVC SDR 35)
 HIGH DENSITY POLYETHYLENE PIPE (HDPE)
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- CONCRETE COLLARS ARE TO BE INSTALLED AROUND ALL STORM STRUCTURES.
- ALL MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 3" ABOVE FINISH GRADE.
- ALL DOWNSPOUT DRAINS ARE TO HAVE A 1.00% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL PROPOSED MODIFICATIONS TO EXISTING CATCH BASINS AND/OR MANHOLES SHALL BE IN ACCORDANCE WITH ODOT STANDARDS AND SPECIFICATIONS.

STORMWATER QUANTITY AND QUALITY NOTES:

- AS PART OF AN PLANNING DEVELOPMENT, THE STORMWATER RUNOFF FROM THIS SITE HAS BEEN ACCOUNTED FOR IN THE EXISTING WET DETENTION BASIN TO THE SOUTHEAST OF THE SITE. THEREFORE, NO DETENTION FACILITIES ARE PROPOSED IN THIS SITE.
- PER CITY OF BEAVERCREEK AND OHIO EPA REQUIREMENTS, PROPOSED IMPROVEMENTS WILL REQUIRE WATER QUALITY TREATMENT OF STORM WATER RUNOFF. THEREFORE, A WATER QUALITY DEVICE HAS BEEN PROPOSED FOR THE TREATMENT OF RUNOFF BEFORE RELEASING INTO THE EXISTING STORMWATER SYSTEM.

LEGEND



STORM SEWER STRUCTURE SCHEDULE			
NO.	STRUCTURE	RIM	INVERT(S)
EX	EXISTING CATCH BASIN	979.19	EX. 15" (N) = 970.41 EX. 15" (S) = 970.29 PROP. 12" (SW) = 971.80
1	PROPOSED WATER QUALITY UNIT W/ GRATED INLET	976.50	8" (SW) = 973.00 12" (SE) = 971.93 12" (NE) = 971.93
2	PROPOSED 2X2' CATCH BASIN	975.30	6" (W) = 973.20 12" (NW) = 972.80
3	CLEAN OUT	977.25	8" = 975.30
4	CLEAN OUT	977.00	8" = 974.18
5	YARD DRAIN	976.50	6" (S) = 974.50 8" (N) = 974.50
6	CLEAN OUT	977.25	6" = 974.80
7	CLEAN OUT	977.25	6" = 975.00

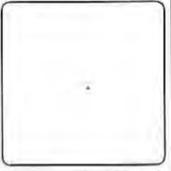
STORM SEWER PIPE SCHEDULE						
PIPE	LINE	TYPE	SIZE	SLOPE	LENGTH	
A	1 - EX	HDPE	12"	0.73%	45'	
B	2 - 1	HDPE	8"	0.73%	120'	
C	3 - 2	HDPE	8"	3.00%	70'	
D	4 - 1	HDPE	8"	1.07%	110'	
E	5 - 4	HDPE	8"	1.07%	30'	
F	6 - 5	PVC	6"	1.00%	30'	
G	7 - 6	PVC	6"	1.00%	18'	



OHIO Utilities Protection SERVICE
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REVISIONS NO.	DATE	DESCRIPTION

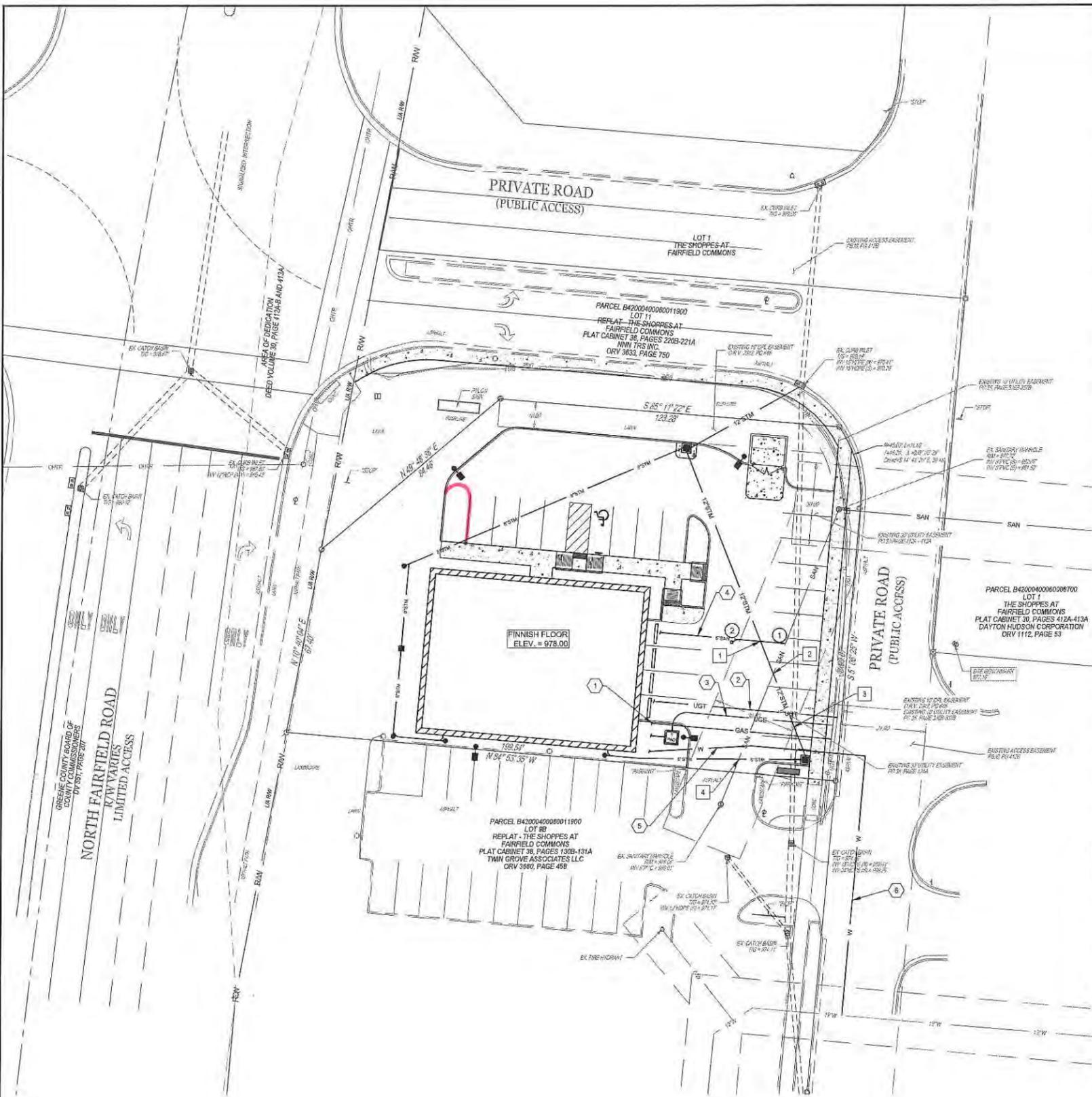


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GRADING PLAN

BSM DEVELOPMENT, LLC
 OH

ISSUE: PLANNING RESUBMITTAL
 DATE: 09/28/2016
 JOB NO.: 751510-02
 DESIGN: NBH
 DRAWN: NBH
 CHECKED: ZDF
 SHEET NO. C5.0



GENERAL UTILITY NOTES:

- BOLLARDS SHALL BE PLACED TO PROTECT GAS METER, ELECTRICAL AND TELEPHONE EQUIPMENT, BUILDING EQUIPMENT AT THE DRIVE THROUGH, AND DUMPSTER ENCLOSURE.
- COORDINATE ALL SITE UTILITY WORK WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS, AS-BUILT PLANS, AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY CONTRACTOR'S WORK FORCE.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL FEES ASSOCIATED WITH PERMITS REQUIRED TO PERFORM THE WORK PROPOSED ON THESE PLAN (I.E. TAPPING, INSPECTION, ETC.).
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY AND WATER LINE SHALL BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.)
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- RIMS OF EXISTING STRUCTURES SHALL BE RAISED OR LOWERED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS WITH WATER TIGHT LIDS.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS, AS WELL AS COORDINATING WITH THE AUTHORITY HAVING JURISDICTION UTILITY REQUIREMENTS AS TO ASSURE PROPER LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.

SANITARY SEWER NOTES:

- ALL SANITARY SEWERS SHALL BE PVC, SDR 23.5 MATERIAL, CONFORMING TO ASTM SPECIFICATION D3034, COLORED GREEN, WITH 3/4" STONE BEDDING.
- PVC PIPE SHALL HAVE AN INTEGRAL BELL AND JOINTS SHALL BE PREMIUM GASKETED JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 TO PROVIDE A WATERTIGHT SEAL AND SHALL BE MADE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

STORM SEWER NOTES:

- SEE GRADING PLAN FOR STORM SEWER NOTES.

WATER NOTES:

- WATER SERVICE MATERIAL LARGER THAN 2" SHALL BE DUCTILE IRON IN CONFORMANCE WITH ANSI A21.51 (AWWA C151) DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND LINED MOLDS, FOR WATER OR OTHER LIQUIDS AND ANSI A21.50 (AWWA C150) THICKNESS DESIGN OF IRON PIPE. ALL SERVICE LINES 2" OR LESS SHALL BE COPPER TYPE K. SIZE TO BE AS NOTED IN PLAN VIEW. SERVICE CONNECTION TO HAVE MINIMUM COVER OF 60" COVER.
- ALL FITTINGS SHALL BE DUCTILE IRON IN CONFORMANCE WITH AWWA C110 OR AWWA C153. ALL FITTINGS SHALL BE RATED FOR 350 PSI WORKING PRESSURE. HAVE MECHANICAL JOINTS AND BE COATED AND CEMENT MORTAR LINED IN ACCORDANCE WITH AWWA C104. ALL BOLTS AND NUTS SHALL BE COR-TEN.
- WATER LINE SHALL HAVE A MINIMUM BURY DEPTH OF 4'.
- A SEPARATE GATE VALVE, THE SAME SIZE AS THE METER CONNECTIONS, SHALL BE PLACED ON THE SERVICE PIPE ON BOTH SIDES OF THE METER. SUCH VALVES SHALL BE EQUAL IN QUALITY TO THE SERVICE COCK.

CODED NOTES:

- PROPOSED GAS SERVICE. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER FOR CONNECTION. REFER TO MEP PLANS FOR EXACT STUB LOCATION.
- PROPOSED TELEPHONE SERVICE. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER FOR CONNECTION. REFER TO MEP PLANS FOR STUB LOCATION AND SERVICE REQUIREMENTS.
- PROPOSED ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER INSTALLATION. REFER TO MEP PLANS FOR STUB LOCATION, LOADING AND ELECTRICAL PANEL REQUIREMENTS.
- PROPOSED SANITARY SEWER SERVICE PER GREENE COUNTY STANDARDS AND SPECIFICATIONS. SERVICE SHALL EXTEND BETWEEN EXISTING MAIN TO WITHIN 5' OF BUILDING. REFER TO MEP PLANS FOR EXACT STUB LOCATION.
- PROPOSED 2" WATER SERVICE PER GREENE COUNTY STANDARDS AND SPECIFICATIONS. 2" WATER LINE SHALL EXTEND BETWEEN EXISTING MAIN TO WITHIN 5' OF BUILDING. REFER TO MEP PLANS FOR EXACT STUB LOCATION.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITY WITHIN THE STREET RIGHT-OF-WAY WITH THE CITY OF BEAVERCREEK AS APPLICABLE TO THE WORK. THIS INCLUDES PAVEMENT REMOVAL/ REPLACEMENT AND NECESSARY TRAFFIC CONTROL. OBTAIN PERMITS AS NECESSARY.

UTILITY CROSSING SCHEDULE			
NO.	UTILITY	INVERT ELEVATIONS	DIFF.
1	12" STORM	972.47	3.00
	6" SANITARY	968.47	
2	12" STORM	972.55	8.30
	8" SANITARY	964.25	
3	12" STORM	972.71	3.08
	15" STORM	968.63	
4	6" STORM	973.89	8.50
	8" SANITARY	965.39	

SANITARY SEWER STRUCTURE SCHEDULE			
NO.	STRUCTURE	RIM	INVERT(S)
1	CONNECTION	-	963.82
2	CLEAN OUT	GRADE	969.67

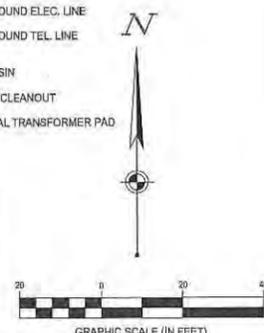
LEGEND

EXISTING
REFER TO EXISTING CONDITIONS PLAN

PROPOSED

- BUILDING
- CONCRETE CURB
- PAVEMENT/WALK
- STORM SEWER LINE
- SANITARY SEWER LINE
- DOMESTIC WATER SERVICE LINE
- GAS SERVICE LINE
- OVERHEAD ELEC. LINE
- UNDERGROUND ELEC. LINE
- UNDERGROUND TEL. LINE
- CATCH BASIN
- SANITARY CLEANOUT
- ELECTRICAL TRANSFORMER PAD

- SEE SHEET C6.1 FOR UTILITY NOTES & DETAILS
- SEE SHEET C6.0 FOR STORM SEWER DETAILS
- SEE ARCHITECTURAL PLANS FOR UTILITY STUB LOCATIONS



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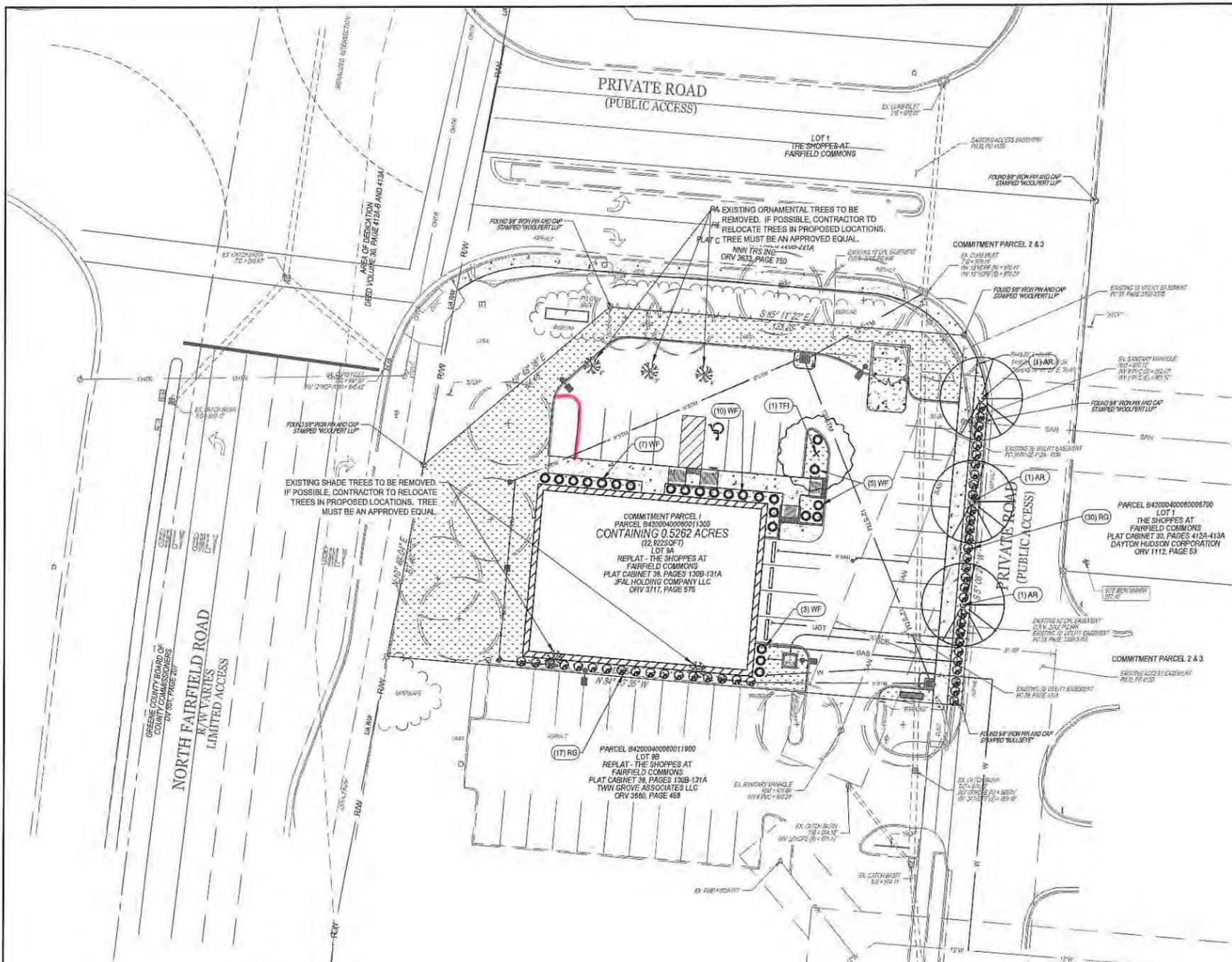
BENCHMARK DATUM: NAVD88
BM "A": CHISELED SQUARE IN LIGHT POLE BASE
977.16

REVISIONS NO.	DATE	DESCRIPTION

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UTILITY PLAN
BSM DEVELOPMENT, LLC
BEAVERCREEK OH

ISSUE: PLANNING RESUBMITTAL
DATE: 09/28/2016
JOB NO.: 751510-02
DESIGN: NBH
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CHECKED: ZDF
SHEET NO. C6.0



PLANTING NOTES:

- ALL PLANT MATERIAL SHALL BE NORTHERN NURSERY GROWN NO. 1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER/CONSTRUCTION MANAGER. THE OWNER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
- SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED. ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE MUNICIPALITY AND OWNER.
- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTH AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.
- PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE.
- REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
- TWO LAYERS OF WEED BARRIER MADE FROM FIBERGLASS AND ULTRA-VIOLET LIGHT RESISTANT SHALL BE PLACED UNDER ALL PLANTING BEDS PRIOR TO MULCHING.
- MINIMUM TOPSOIL DEPTH IN LAWN AREAS SHALL BE FOUR (4) INCHES. MINIMUM TOPSOIL DEPTH IN LANDSCAPED AREAS SHALL BE TWELVE (12) INCHES.
- FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXISTS, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.

SEEDING NOTES:

- SEEDING METHOD - PER ALDI STANDARDS. SEED SHALL BE APPLIED BY HYDROSEEDING METHOD; APPLICATION FERTILIZER SHALL BE PLACES A MINIMUM OF 80 POUNDS PER ACRE, HYDROMULCH AT 1,200 POUNDS PER ACRE, WATER AT 500 GALLONS PER ACRE AND SEED AT A MINIMUM OF 220 POUNDS PER ACRE.
- REFER TO STORM WATER POLLUTION PREVENTION PLANS (SWPPP) FOR ADDITIONAL PERMANENT AND TEMPORARY SEEDING INFORMATION.

IRRIGATION NOTES:

- ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATION SYSTEM. THE GC SHALL BE RESPONSIBLE FOR RETAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE GC SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

LANDSCAPE REQUIREMENTS

TOTAL NUMBER OF TREES PER OPEN SPACE
 • OVERALL TREE COUNT REQUIREMENT = OPEN SPACE SQFT / 2000 SQFT
 PROVIDED OPEN SPACE = 7,131 SQFT
 REQUIRED TREE COUNT = 7,131/2,000 = 3.58 = 4
 EXISTING TREE COUNT = 7
 PROPOSED TREE COUNT = 4
 TOTAL TREE COUNT = 11 (EXCEEDS REQUIREMENT)

STREET FRONTAGE LANDSCAPING

(1) TREE AND 10 SHRUBS PER 35 LF OF FRONTAGE (EXCLUDING DRIVE OPENINGS)
 STREET FRONTAGE (PRIVATE ROAD) = 99 LF
 TREE REQUIREMENT = 99/35 = 2.82 = 3
 PROPOSED = 3
 TOTAL PROVIDED = 3 (MEETS REQUIREMENT)
 SHRUB REQUIREMENT = 99/35 = 2.82, 2.82 * 10 = 28.28 = 28
 PROPOSED = 30
 TOTAL PROVIDED = 30 (MEETS REQUIREMENT)

PARKING INTERIOR LANDSCAPING

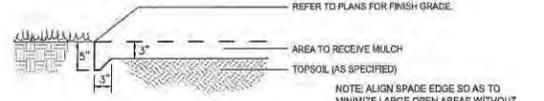
• 2 TREES WITHIN 60FT OF EVERY SPACE. (AS SHOWN - EXCEEDS REQUIREMENT)
 • 75% OF ISLANDS LANDSCAPED WITH SHRUBS/PERENNIALS. (AS SHOWN - EXCEEDS REQUIREMENT)

BUILDING EXTERIOR LANDSCAPING

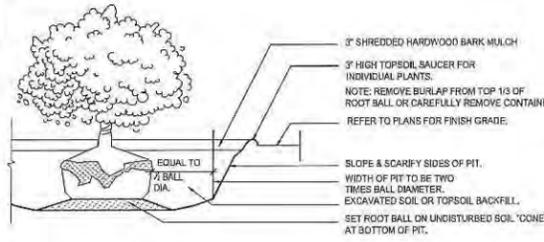
• 60% OF BUILDING PERIMETER LANDSCAPED WITH SHRUBS / PERENNIALS. (AS SHOWN - EXCEEDS REQUIREMENT)

LEGEND

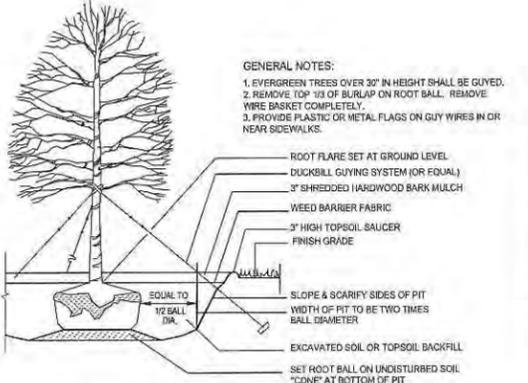
- EXISTING**
 REFER TO EXISTING CONDITIONS PLAN
- EXISTING SHADE TREE
- PROPOSED**
- RHEINGOLD ARBORVITAE (RG)
 - WINE & ROSES WEIGELA (WF)
 - RED SUNSET MAPLE (AR)
 - IMPERIAL HONEYLOCUST (TFI)
 - GRASS SEED AREA



1 SPADE EDGE
NO SCALE



2 SHRUB PLANTING
NO SCALE



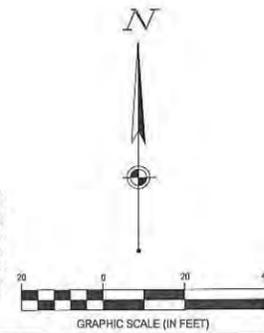
3 TREE PLANTING
NO SCALE

GENERAL NOTES:
 1. EVERGREEN TREES OVER 30' IN HEIGHT SHALL BE GUYED.
 2. REMOVE TOP 1/3 OF BURLAP ON ROOT BALL. REMOVE WIRE BASKET COMPLETELY.
 3. PROVIDE PLASTIC OR METAL FLAGS ON GUY WIRES IN OR NEAR SIDEWALKS.

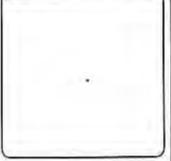
QTY.	ID	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTE
TREES						
3	AR	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2.5' 8&B	AS SHOWN	OR APPROVED EQUAL
1	TFI	GLEDITSIA TRIACANTHOS INERMIS IMPERIAL	IMPERIAL HONEYLOCUST	2.0' 8&B	AS SHOWN	OR APPROVED EQUAL
SHRUBS						
25	WF	WEIGELA FLORIDA 'WINE & ROSES'	WINE & ROSES WEIGELA	24" # 5 CONT.	AS SHOWN	OR APPROVED EQUAL
47	RD	THUJA OCCIDENTALIS 'RHEINGOLD'	RHEINGOLD ARBORVITAE	# 3 CONT.	AS SHOWN	OR APPROVED EQUAL



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REVISIONS NO.	DATE	DESCRIPTION



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LANDSCAPE PLAN
 BSM DEVELOPMENT, LLC
 BEAVERCREEK
 OH

ISSUE: PLANNING RESUBMITTAL
 DATE: 09/28/2016
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1 COLOR FRONT ELEVATION
NTS



3 COLOR SIDE ELEVATION A
NTS



2 COLOR REAR ELEVATION
NTS



4 COLOR SIDE ELEVATION B
NTS

EXTERIOR FINISH SCHEDULE				
MARK	MATERIAL	MANUFACTURER	COLOR	REMARKS
ALUM-1	ALUMINUM & GLASS STOREFRONT FRAME	KAWNEER	CLEAR ANODIZED ALUMINUM	
AWN-1	CANVAS AWNING	TBD	BLACK	
BRK-1	BRICK VENEER	PALMETTO BRICK	GREYSTONE 1.25	SMOOTH
BRK-2	BRICK VENEER	PALMETTO BRICK OR EQUAL	MATCH 25 GREYSTONE	SMOOTH
DS-1	6" X 6" PREFINISHED METAL DOWNSPOUT	VARIES	PAINT COLOR PT-1	
EIFS-1	1-1/2" DRAINABLE EIFS	DRYVIT OR EQUAL	MATCH DRYVIT - 450 - "CLOVER"	TEXTURE: SANDPEBBLE FINE DPR
EIFS-2	EIFS CORNICE	DRYVIT OR EQUAL	MATCH DRYVIT - 449 - "BUCKSKIN"	TEXTURE: SANDPEBBLE FINE DPR
PT-1	PAINT	PPG	MATCH "JEFFERSON HOUSE" 621 (PPG PAINTS)	
SHNG-1	DIMENSIONAL FIBERGLASS SHINGLE ROOF	TBD	WEATHERED WOOD	



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SLEEP OUTFITTERS
BEAVERCREEK, OH
09.28.16

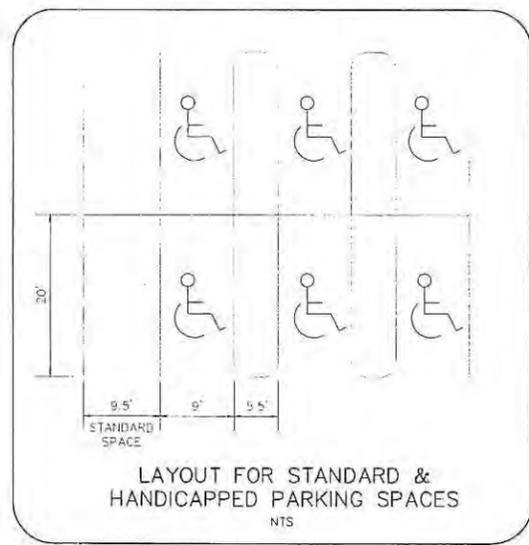
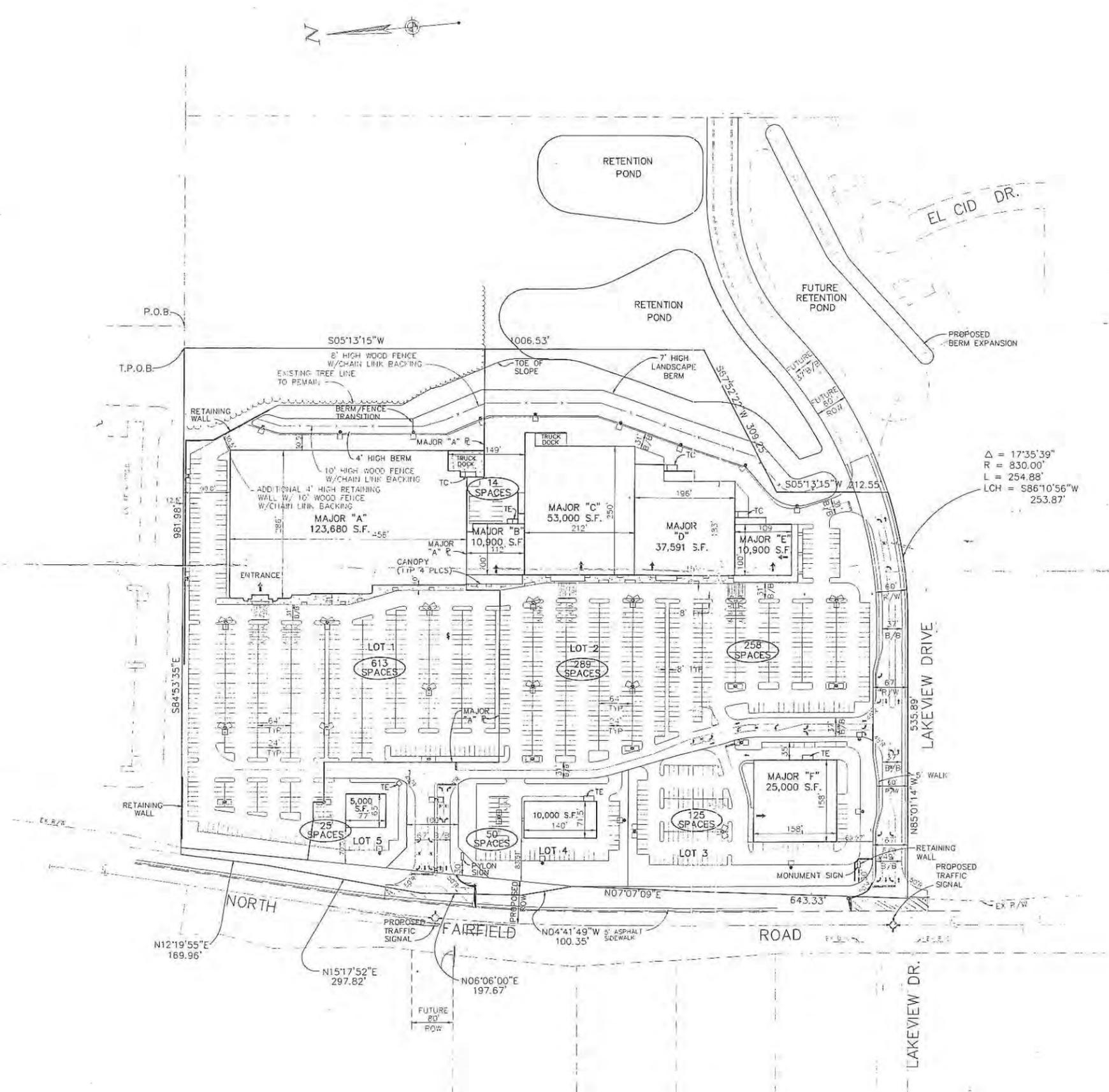
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SEP 28 2016

CITY OF BEAVERCREEK
PLANNING DEPARTMENT



Baker Storey McDonald Properties, Inc.
3011 Armory Drive
Suite 120
Nashville, TN 37204



- NOTES**
- 1) MAXIMUM PROPOSED HEIGHT OF BUILDING STRUCTURES ARE 35 FEET.
 - 2) THE INTENDED USE OF THIS PLAN IS AS A SHOPPING CENTER COMPLEX. GENERALLY, IT IS ANTICIPATED THAT THE DEVELOPMENT WILL INCLUDE RETAIL STORES AS WELL AS RESTAURANTS AND OTHER SERVICE BUSINESSES. ULTIMATELY, SPECIFIC USES ARE TO BE IN COMPLIANCE WITH THE USES APPROVED AS PART OF BEAVERCREEK ORDINANCE 91-21 WHICH REPRESENTS THE MOST CURRENT ZONING OF THIS TRACT.
 - 3) TRASH COMPACTOR AND DUMPSTER ENCLOSURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS.
TC = TRASH COMPACTOR
TE = TRASH ENCLOSURE w/ 6' HIGH WOOD FENCE OR BRICK WALL TO MATCH BUILDING
 - 4) RETAINING WALLS TO BE NEWCASTLE MODULAR BLOCK CONSTRUCTION OR APPROVED EQUAL.

- STAKING/PAVEMENT LEGEND**
- INDICATES CONCRETE PAVEMENT
 - STRIPED ISLAND
 - CURB

LOT AREA TABLE

LOT No.	AREA
1	11.81 ACRES
2	14.38 ACRES
3	2.97 ACRES
4	1.49 ACRES
5	0.67 ACRES
R/W	1.76 ACRES
TOTAL	31.32 ACRES

BUILDING AREA DATA

MAXIMUM ALLOWABLE BUILDING AREA: 35%
 31.32 ACRES x 35% = 10.96 ACRES = 477,505 SQ. FT.
 BUILDING AREA PROVIDED = 276,071 SQ. FT.

LAND USE INTENSITY

MAXIMUM COVERAGE BY ALL BUILDINGS AND IMPERVIOUS SURFACES: 75% (EXCLUDING PROP. R/W)
 OPEN SPACE REQUIRED:
 29.56 ACRES x 25% = 7.39 ACRES
 OPEN SPACE PROVIDED = 7.51 ACRES (25.4%)

PARKING DATA

TOTAL PARKING REQUIRED:
 276,071 S.F. x 5.0/1000SF = 1381
 TOTAL PARKING PROVIDED = 1374

HC REQUIRED (@ 2%) = 28
 HC PROVIDED = 33

APPROVED PLAN

PLANNING COMMISSION/DATE: *[Signature]* / 4/17/96
 CITY COUNCIL/DATE: *[Signature]* / 4/17/96
 CASE # 200 2-2 (CCP)
 CITY OF BEAVERCREEK BY *[Signature]*

0 100 200 300 400
 SCALE: 1"=100'
 GRAPHIC SCALE IN FEET

RECEIVED
 MAR 25 1996
 CITY OF BEAVERCREEK
 PLANNING DEPARTMENT

PROJECT No.	DATE	REVISION
10-21444-04	11/2/95	ISSUED FOR CITY REVIEW
	11/15/95	REVISED PER CITY COMMENTS
	12/19/95	REVISED PER CITY COMMENTS
	2/28/96	REVISED PER CITY COMMENTS
	1/12/96	REVISED PER CITY COMMENTS
	2/13/96	REVISED PER CITY COMMENTS
	3/25/96	REVISED PER CITY COMMENTS

409 East Monument Avenue
 Dayton, Ohio 45402-1261
 513.461.5660
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SHOPPES AT FAIRFIELD COMMONS P.U.D. PACKAGE
 NORTH FAIRFIELD ROAD
 CITY OF BEAVERCREEK, GREENE COUNTY, OHIO
DEVELOPMENT PLAN

SHEET NO. **C3**

ORIGINAL APPROVED SSP