

BEAVERCREEK PLANNING COMMISSION
REGULAR MEETING, February 3, 2016, 7:00 p.m.

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. APPROVAL OF MINUTES
 - A. January 6, 2016
- V. PUBLIC HEARINGS
 - A. Z-16-2, Corle Rezoning, R-1A to RO-1
 - B. PUD 93-4 Amendment 1/16, Ashton Brooke Phase 5
 - C. PUD 15-3 SSP #1, AAA-Bob Sumerel Tire
- VI. ADJOURNMENT

BEAVERCREEK PLANNING COMMISSION
REGULAR MEETING, January 6, 2016

PRESENT: Mr. Archibald, Mr. Curran, Mr. Erbes, Mr. Self

ABSENT: None

Vice Chairman Self called the meeting to order followed by roll call.

Mr. Archibald MOVED approval of the agenda. Motion was seconded by Mr. Erbes and PASSED by majority voice vote.

REORGANIZATION
CHAIRMAN

Mr. Curran opened nominations for chairman. Motion was seconded by Mr. Archibald and the motion PASSED by majority voice vote.

Mr. Archibald nominated Mr. Self as the chairman. Motion was seconded by Mr. Curran and the motion PASSED by majority voice vote. Mr. Self was appointed chairman and the motion PASSED by majority voice vote.

VICE CHAIRMAN

Mr. Curran opened nominations for vice chairman. Motion was seconded by Mr. Erbes and motion PASSED by majority voice vote.

Mr. Curran nominated Mr. Archibald as vice chairman. Motion was seconded by Mr. Erbes and the motion PASSED by majority voice vote. Mr. Archibald was appointed vice chairman and the motion PASSED by majority voice vote.

Mr. Curran MOVED approval of the December 2, 2015 minutes. Motion was seconded by Mr. Archibald and PASSED by majority voice vote.

PUBLIC HEARINGS

Z-16-1, TCN Behavioral Rezoning, I-1 to RP-1

Clerk Gillaugh read the notice of public hearing on an application filed by TCN Behavioral, 452 West Market Street, Xenia, OH 45385. The application requests the rezoning of 3.223 acres of land from I-1 Light Industrial District to RP-1 Research Park District. The property is located at 1400 Grange Hall Road further described as Book 2, Page 13, Parcel 70 on the Greene County Property Tax Atlas.

Lori Strobl, representing TCN Behavioral Services, stated TCN is a non-profit organization that specializes in behavioral health services. She explained they specialize in both adult and youth services with their main location in Xenia and another location in Fairborn. Ms. Strobl said they are proposing to move their Fairborn location to this location because the Fairborn location is 11,000 square feet where this building is 26,000 square feet. She said they are expanding and growing so this building will suit

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their needs. Ms. Strobl explained they are also a teaching site, and have several affiliation agreements with all the universities around the State of Ohio and doctors and counselors come to the site to teach and do their practicums.

Mr. McGrath summarized the staff report dated December 31, 2015, which stated the applicant is requesting to rezone 3.223 acres from I-1 Light Industrial to RP-1 Research Park. He discussed the location of the property, and explained the owner of the building and TCN have been working with staff to find an appropriate zoning district for the proposed use. Mr. McGrath explained this property is located within the Miami Valley Research Park, but is not owned by them. He said they are looking at the use tonight, and there are no proposed changes to the building. Mr. McGrath discussed the Land Use Plan designation, and felt it was consistent. He stated there will be drop-offs to the site by Greene CATS, and there is no request for a public transit stop at this location at this time. Mr. McGrath explained this professional service does not allow overnight stays, so the facility will not have any residential units. Staff recommended approval of the case.

In public input, Nathan FaluFebres, 3534 Dayton-Xenia Road, stated he was excited about the new facility coming to Beavercreek and questioned if it would create additional jobs.

There being no further public input, the public hearing was closed.

Mr. Archibald questioned what kind of appointment traffic they expect. Ms. Strobl explained they service about 2,200 patients a year at the Fairborn location so they are hoping the clients will continue from the Fairborn location to the new location. She said they do have a contract with Greene CATS that will do the transportation services and they have case managers that will go to the client's home to pick them up and drop them off. Mr. Archibald asked if they anticipate there being enough parking on the site. Ms. Strobl said they have 91 parking spaces, and will have approximately 30 employees in the building. She explained their services are a maximum of three hours if it is a group-type session, but usually their clients only stay an hour or less at the facility. Mr. Archibald questioned if there would be additional employment at the site. Ms. Strobl said there will be additional jobs created, and those employees at the Fairborn location will transfer over.

Mr. Curran asked what percentage of their clients is related to drug type cases. Ms. Strobl said they are dual licensed so it is a mental health diagnosis so they service approximately 7,000 clients as a whole within a year. She explained they don't have a percentage for mental health because it is usually a dual diagnose.

Mr. Erbes asked if they would have any clients there that would utilize more of a day program and then go home at night. Ms. Strobl said they have nothing of that nature, and typically it is a visit to a counselor for an hour period of time. She stated the group sessions normally last three hours, but nothing would extend past that time. Ms. Strobl

explained they are open from 7 a.m. to 8 p.m. Mr. Erbes asked if they had evening sessions then. Ms. Strobl said for group sessions only. Mr. Erbes questioned what the mix was between youth and adult. Ms. Strobl said it is about at 50/50 split, but the adult services are a little bit larger than the youth. Mr. Erbes questioned what the projected growth will be for their services over the next three to five years. Ms. Strobl explained they are anticipating about at 7% growth per year. Ms. Erbes asked if they anticipate that growth to be at this location. Ms. Strobl said yes. Mr. Erbes questioned if they have looked into possibly expanding at this location in the future. Ms. Strobl stated there have been discussions with Miami Valley Research Park regarding the vacant land to the north.

Mr. Self said since they will be operating until 8 p.m., he questioned if the light level in the parking lot is sufficient. Ms. Strobl said yes the parking lot will be lit.

Mr. Curran MOVED to approve Z-16-1, seconded by Mr. Archibald. Motion PASSED by a roll call vote of 4-0.

DECISION ITEMS

PUD 91-2 MOD 12/15, BSM Development, Minor Modification

Mr. Burkett summarized the staff report dated December 31, 2015 on a request by BSM Development, 3011 Armory Drive, Suite 120, Nashville, TN 37204. The applicant is requesting approval for a minor site plan modification, architectural elevations, and a landscape plan for a new structure at the Shoppes at Fairfield Commons, located at the southeast corner of Commons Boulevard and North Fairfield Road. In particular, they are proposing to construct approximately 34,270 square feet of commercial retail, 18,520 square feet of which is proposed to be an Aldi grocery store. The remaining 15,750 square feet will be divided into tenant spaces for commercial retail. Mr. Burkett discussed the location of the property, the proposed site plan, the required parking spaces, the access to the site, the proposed elevations and building materials, and the landscaping plan. He proposed to add a 16th condition regarding the lighting pole height, and recommended approval of the case with 16 conditions.

Mr. Curran referred to a session he had taken at the Miami Valley Regional Planning Workshop regarding landscaping and the character of the soil it is planned in so the plants aren't lost in several years, and questioned how the City handled landscaping. Mr. Burkett explained the work is required to be bonded, and how the process is handled through the Planning office.

Mr. Erbes asked if the parapet wall would screen the equipment on the roof top. Mr. Burkett explained there is a higher parapet wall in the front of the building, and Condition #9 requires all roof-top units be screened. Mr. Erbes referred to where the parking lot will tie into the existing Hobby Lobby parking lot, and questioned if staff had any concern with how the water will flow off. Mr. Burkett explained the Engineering Department has reviewed the preliminary grading plans, and the applicant will be required to apply for a permit and get the final grading plans approved so that all the

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water will reach the detention pond to the east as it is supposed to. Mr. Erbes asked who would be responsible for maintaining the access road behind the building. Mr. Burkett explained it will be the responsibility of the property owner. Mr. Erbes questioned if there was any concern about extending the berm height towards Lakeview Drive because he wanted to make sure the apartments would not get much bleed off lighting from the site. Mr. Burkett explained where he thought the mound extended to, and felt comfortable with its location.

Mr. Archibald was pleased to see the proposed Condition #16, and asked if there was any standard to make sure the light poles that are further east are directed back into the parking lot. Mr. Burkett explained the Zoning Code requires full cut-off fixtures to be used. Mr. Archibald said with the construction of this area, most of the land will be developed north of Lakeview Drive and questioned who will be responsible to maintain the access road. Mr. Burkett explained the applicant will be responsible until the Hobby Lobby property line and then it is Hobby Lobby's responsibility. Mr. Archibald asked if they had tenants lined up for the 15,000 square foot area to the north. Jeff Tibbitts, CESO, explained they are marketing the rest of the space, but have no firm commitments at this time. Mr. Archibald asked how many store fronts are projected to be there. Mr. Tibbitts stated the architectural design was intended to be able to be broken up into numerous bays.

Mr. Self questioned if the light colored sections on the front of the building were split faced block or EIFS. Mr. Tibbitts stated it is lighter colored brick. He discussed the materials that will be used on the rear of the building. Mr. Self asked if the building will have four finished sides. Mr. Tibbitts said yes. Mr. Self questioned if there will be a curb or grade separation at the property line between this property and the Hobby Lobby property. Mr. Burkett explained it will appear as one large parking lot, and there will not be a grade difference. Mr. Self thought that when they had commercial projects abutting residential properties, the lighting poles were restricted to 16 feet in height. Mr. Burkett said he had no problem changing the height of the poles to 16 feet if Planning Commission wanted to.

Mr. Archibald MOVED to approve PUD 91-2 MOD 12/15 with 16 conditions, adding and modifying Condition #16:

1. All conditions and requirements of PUD 91-2 and any subsequent modifications remain in full force and effect, unless herein modified
2. The plans dated "Received December 28, 2015" shall be the plans approved for the site plan modification.
3. The plans dated "Received December 28, 2015" shall be the plans approved for the architectural elevations.

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4. A PUD Agreement, acceptable to the City, must be signed by the owner and a bond or letter of credit must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the city's landscaping and screening regulations.
5. The final landscape plan shall be reviewed and approved by the Planning Department prior to the release of a zoning permit. The final landscape plan shall show the white pines to be planted on the mound to the east of the building be a minimum of six feet tall, and the shade trees planted immediately adjacent the south and southeast corners of the building be a minimum of 3 inch in diameter at breast height (DBH) at the time of planting.
6. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes, as originally planted, within three months, weather permitting.
7. The applicant must obtain a zoning permit issued by the City of Beavercreek prior to construction.
8. There shall not be any scuppers, ladders, and/or coolers and storage areas visible on the exterior of the building, except in the rear (east) of the building.
9. All roof top units and mechanical equipment, including storage and cooling facilities shall be completely screened from public view.
10. All service doors on the building shall be painted to match the color of the building.
11. The dumpster enclosure's gate shall be constructed of a vinyl or composite material, or other material, to be approved by the Planning Department. The gate shall be painted to match the adjacent material.
12. All concerns of the City Engineer, Fire Department, Sanitary Engineer and the Planning Department shall be addressed and approved prior to the release of a zoning permit.

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13. No portion of the building may be occupied for the first time or reoccupied later until and unless an application of a Certificate of Use Compliance has been submitted to the City by the property owner or by the prospective occupant. No such occupancy may occur until the application of Certificate of Use Compliance has been approved and issued by the City.
14. Wall/ground signage shall be compliant with the conditions found in the original specific site plan approval. Should a ground sign be constructed, it shall be constructed on a brick base using the same brick material as the building, be no taller than 5 feet, shall be a maximum of 32 square feet per sign face, and shall service the entire shopping center, not one specific tenant. The background color of all of the sign panels shall be one consistent color, subject to the approval of the Planning and Zoning Department prior to the issuance of a permit for the sign
15. A Final Subdivision for the area associated with this modification shall be approved by the Planning Commission and recorded with the County prior to the release of a zoning permit for the primary building. Said Replat shall show all appropriate access, utility and cross access easements necessary.
16. The final lighting/photometric plan shall be reviewed and approved by the Planning Department prior to the release of a zoning permit. The final lighting plan shall show a maximum of 16' poles east of the building, and all fixtures used shall be similar to the fixtures used within the Hobby Lobby development to the north.

Motion was seconded by Mr. Curran, and PASSED by a roll call vote of 4-0.

SUBDIVISIONS

S-16-1, The Shoppes at Fairfield Commons

Mr. Burkett summarized the staff report dated December 22, 2015 on a request by CESO, Inc., 2800 Corporate Exchange Drive, Columbus, OH 43231. The applicant is requesting approval of a replat of Lot 8R, which is 7.45 acres within the Shoppes at Fairfield Commons subdivision. Staff recommended approval with four conditions.

Mr. Self questioned if everything east of the berm will be split off and become the Aldi and the new store's parcel. Mr. Burkett said the Hobby Lobby will get the acreage they are supposed to have. Mr. Self asked what the long skinny piece of land is to the north. Mr. Burkett said it is a remnant on the other side of the mound that will combined with the land to the east where the apartments will be constructed. Mr. Self said this is basically a clean up of lot lines taken over by events. Mr. Burkett explained it is lot lines that have been created over the many years.

Mr. Erbes MOVED to approve S-16-1 with four conditions:

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1. The approved record plan shall be the plan stamped "Received December 4, 2015", except as modified below.
2. All concerns and comments of the Planning and Zoning Department, City Engineer, Greene County Sanitary Engineering Department, Greene County Auditor, public utility providers, and the Beavercreek Township Fire Department shall be addressed and satisfied prior to release of the record plan for recording.
3. Prior to release of the record plan for recording, the applicant shall provide a digital format file of the subdivision in Autocad or .dxf format.
4. All access, parking, and utility easements shall remain in full force and effect.

Motion was seconded by Mr. Curran. Motion PASSED by a roll call vote of 4-0.

S-16-2, AAA Sumerel Beavercreek

Mr. McGrath summarized the staff report dated December 31, 2015 on a request by Peter Joseph (agent for owner), 6125 E. Kemper Road, Cincinnati, OH 45241. The applicant is requesting approval of a final subdivision of 2.6615 acres located near the southwest corner of North Fairfield Road and Dayton-Xenia Road. Staff recommended approval with three conditions.

Mr. Archibald referred to the proposed lot on the corner, and asked if it will be big enough to accommodate some type of building with it being located on a major intersection. He questioned if they are giving consideration to the number of curb cuts that will be allowed. Mr. McGrath believed at the zoning stage they required it to only be a right-in/right-out and the full ingress/egress to the site will be as far away from the intersection as possible. He said in terms of the size it was looked at specifically and was really the City soliciting Synergy for this application to do something unique or attractive at the corner. Mr. McGrath explained the site was oversized for AAA Sumerel Tire, and the City wanted to take advantage of the corner of Dayton-Xenia Road and North Fairfield Road.

Mr. Archibald MOVED to approve S-16-2 with three conditions:

1. The approved record plan shall be the plan stamped "Received December 31, 2015", except as modified below.
2. All concerns and comments of the Planning and Zoning Department, City Engineer, Greene County Sanitary Engineering Department, Greene County Auditor, public utility providers, and the Beavercreek Township Fire Department shall be addressed and satisfied prior to release of the record plan for recording.

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3. Prior to release of the record plan for recording, the applicant shall provide a digital format file of the subdivision in Autocad or .dxf format.

Motion was seconded by Mr. Curran. Motion PASSED by a roll call vote of 4-0.

ADJOURNMENT

Mr. Erbes MOVED adjournment at 7:49 p.m., seconded by Mr. Archibald. Motion PASSED by majority voice vote.

Melissa Gillaugh
Deputy Clerk

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: February 3, 2016	Reference Topic Z 16-2
Agenda Reference No.	4230 Dayton-Xenia Road (R1-A to RO-1)

ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

REQUEST BY APPLICANT:

The applicant is requesting to rezone the property at 4230 Dayton-Xenia Road from R-1A One-Family Residential to RO-1, Residential Office in order to operate a real estate agency from the existing structure.

STAFF RECOMMENDATION:

Staff is recommending approval of this rezoning request as outlined in the attached Resolution.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, disapproval, or tabling of the attached application for further review.

CITY OF BEAVERCREEK STAFF REPORT

January 20, 2016

PROJECT: Z 16-2 (4230 Dayton-Xenia Road)

APPLICANT: Clyde and Patricia Corle
3439 Riva Court
Beavercreek OH 45432

REQUEST

The applicant is requesting to rezone the property at 4230 Dayton-Xenia Road from R-1A One-Family Residential to RO-1, Residential Office in order to operate a real estate agency from the existing structure.

EXISTING CONDITIONS

Current Zoning and Land Use

As stated, the property is currently zoned R-1A, one family residential. It contains a 1,762 square foot, single-story residential structure and a 1,100 square foot detached garage. It is a non-conforming lot due to not meeting the minimum lot size requirement of 20,000 square feet for an R-1A zoning district. This non-conformity was created when the right-of-way was acquired in order to widen Dayton-Xenia Road. The primary structure is non-conforming as it does not meet the minimum setback requirements of 40 feet in the front yard. The garage is also non-conforming because it exceeds the allowed square footage for an accessory structure in a residential district by 219 square feet.

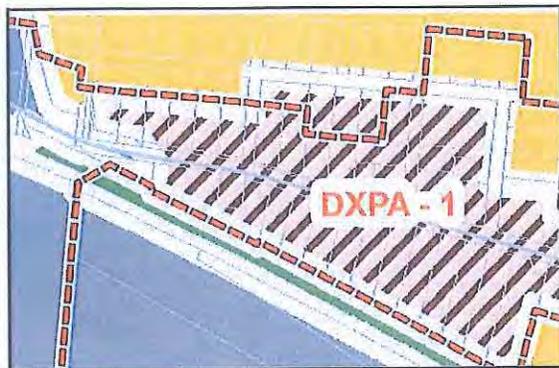
Surrounding Zoning

The subject property is immediately surrounded to the north, east, and west by one family residentially zoned (R-1A) properties. To the south, across Dayton-Xenia Road, is Calvary Chapel of Dayton and Hawker Cemetery, both zoned agriculturally (A-1).



The two properties to the west are used residentially as well as the two properties to the east. The lot at the northwest corner of Dayton-Xenia Road and Rosemeade Avenue contains a single family structure and a parking lot for the Calvary Chapel. As you move east along Dayton-Xenia, the majority of the properties on the north side of the road are zoned for office and community business.

ANALYSIS



The City of Beavercreek Land Use Plan calls for neighborhood commercial or neighborhood office in this section of the Dayton-Xenia Corridor. It is the intent of this area to provide local services to residents that live nearby as well as low intensity and small-scale office uses. The reuse of the existing residential structure for an office use is compatible with the Land Use Plan's designation in this location.

The RO-1 zoning district being proposed is intended to serve as a transitional zone between residential districts and more intense commercial uses. This zoning designation still gives the owner the option of continuing to use the property residentially but also allows for some very low intensity office uses such as medical doctors, lawyers, engineers, and similar uses that do not create significant noise or generate additional traffic.

As previously stated, the applicant intends to use this property as a real estate office, proposing to make no changes to the exterior of the structure. The existing parking areas will be resurfaced and striped to accommodate 5 vehicles, as the applicant has indicated that there will be three employees on site at any one time. Closings and other such meetings would be held off site necessitating only two additional spaces for potential clients.

Should there be plans in the future for significant changes to parking, lighting, or structures, the requirements of the RO-1 zoning district would have to be met and Planning Commission approval through the ASRA (Administrative Site Plan Review and Approval) process may be required as outlined in §158.075. Greene County Building Regulation may require the building and site to be made handicap accessible prior to allowing occupancy, and the applicant has been made aware of this. One ground sign would be permitted on the property no larger than 15 square feet per sign face and no taller than four feet.

One of the primary goals of the Dayton-Xenia Corridor Task Force was to encourage re-investment in older structures, whether commercial or residential, specifically along the western portion of Dayton-Xenia Road. This block in particular has had several challenges in the past concerning property maintenance, including this property. The applicant's intent to occupy the existing building with a low intensity use and to clean up the exterior property areas falls in line with the type of progress the task force desires.

Although the buildings will continue to be non-conforming in regard to setbacks and size, should this rezoning request be approved, the property would meet the minimum lot size

requirement of the RO-1 zoning district of 16,000 square feet, thereby decreasing the existing nonconformity.

RECOMMENDATION

Based on the foregoing analysis, staff recommends approval of this request as outlined in the attached Resolution.

RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
February 3, 2016

RE: Z-16-2
R-1A One Family Residential
District to RO-1 Residential/Office
District

WHEREAS, Clyde E. and Patricia A. Corle, 3439 Riva Court, Beavercreek OH 45430, have filed an application requesting approval of an amendment of zoning classification from R-1A One Family Residential to RO-1 Residential/Office District for 0.47 acres, located at 4230 Dayton-Xenia Road, further described as Book 2 Page 4, Parcel 36 on the property tax maps of Greene County, Ohio; and

WHEREAS, a public hearing was held on February 3, 2016 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission recommends to Beavercreek City Council the following:

A. That approximately 0.47 acres of land incorporated within this request and known as B42000200040003600 and as further described in the attached Exhibit A be rezoned to RO-1, Residential/Office District.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED:

VOTING FOR ADOPTION:

AGAINST:

ABSENT:

Chairman

Attest:

EXHIBIT "A"

Situated in the City of Beavercreek, County of Greene and State of Ohio and being Lot Number 36 Beaver Brook as recorded in Plat Book 3, page 165 nka Plat Cabinet 32, page 40A of the Plat Records of Green County, Ohio.

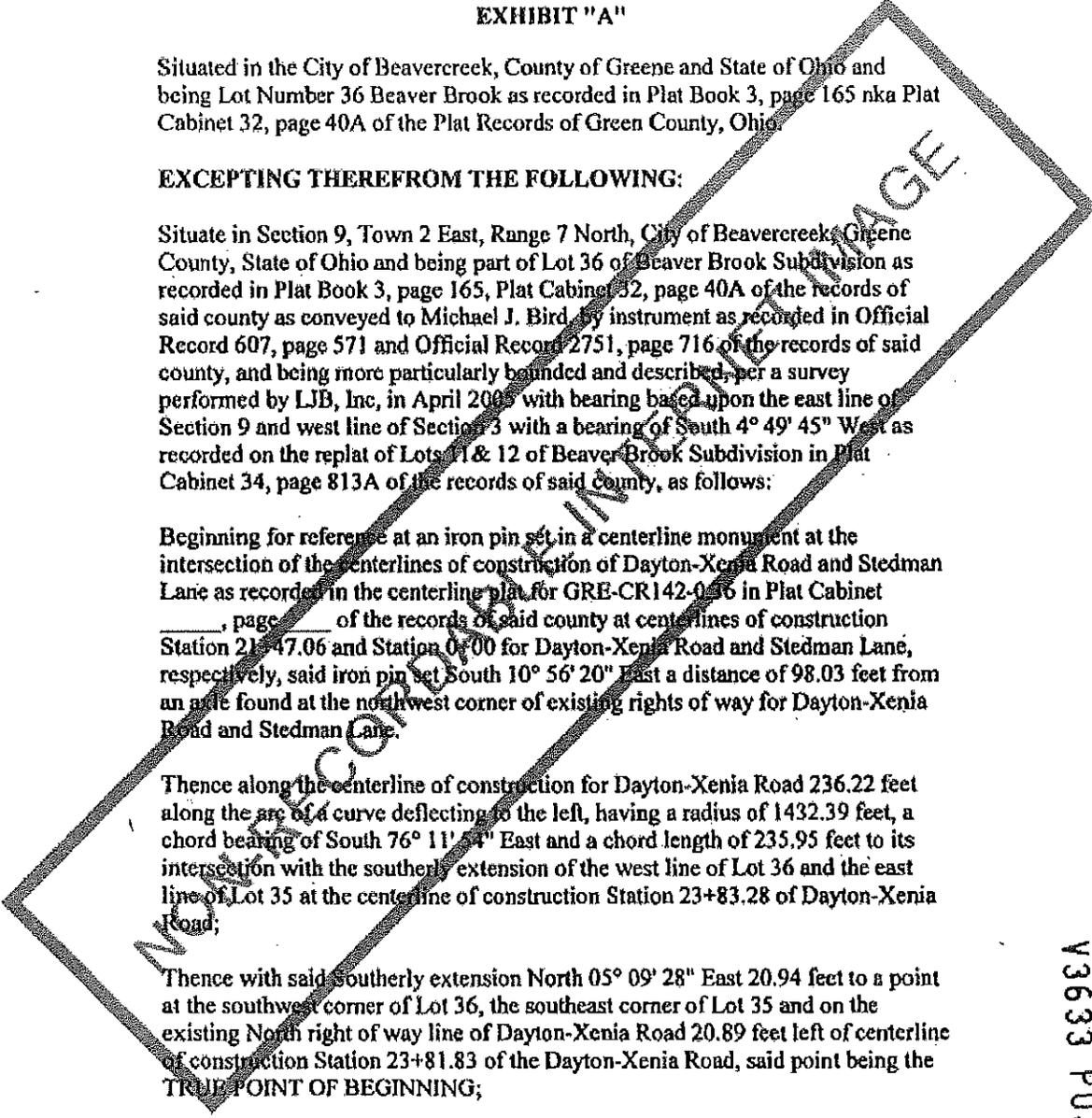
EXCEPTING THEREFROM THE FOLLOWING:

Situate in Section 9, Town 2 East, Range 7 North, City of Beavercreek, Greene County, State of Ohio and being part of Lot 36 of Beaver Brook Subdivision as recorded in Plat Book 3, page 165, Plat Cabinet 32, page 40A of the records of said county as conveyed to Michael J. Bird, by instrument as recorded in Official Record 607, page 571 and Official Record 2751, page 716 of the records of said county, and being more particularly bounded and described, per a survey performed by LJB, Inc, in April 2009 with bearing based upon the east line of Section 9 and west line of Section 3 with a bearing of South 4° 49' 45" West as recorded on the replat of Lots 11 & 12 of Beaver Brook Subdivision in Plat Cabinet 34, page 813A of the records of said county, as follows:

Beginning for reference at an iron pin set in a centerline monument at the intersection of the centerlines of construction of Dayton-Xenia Road and Stedman Lane as recorded in the centerline plat for GRE-CR142-026 in Plat Cabinet _____, page _____ of the records of said county at centerlines of construction Station 21+47.06 and Station 0+00 for Dayton-Xenia Road and Stedman Lane, respectively, said iron pin set South 10° 56' 20" East a distance of 98.03 feet from an angle found at the northwest corner of existing rights of way for Dayton-Xenia Road and Stedman Lane.

Thence along the centerline of construction for Dayton-Xenia Road 236.22 feet along the arc of a curve deflecting to the left, having a radius of 1432.39 feet, a chord bearing of South 76° 11' 54" East and a chord length of 235.95 feet to its intersection with the southerly extension of the west line of Lot 36 and the east line of Lot 35 at the centerline of construction Station 23+83.28 of Dayton-Xenia Road;

Thence with said southerly extension North 05° 09' 28" East 20.94 feet to a point at the southwest corner of Lot 36, the southeast corner of Lot 35 and on the existing North right of way line of Dayton-Xenia Road 20.89 feet left of centerline of construction Station 23+81.83 of the Dayton-Xenia Road, said point being the TRUE POINT OF BEGINNING;



V3633 P0399

EXHIBIT "A" Cont.

Parcel 7WD

Thence along the West line of Lot 36 and the East line of Lot 35 North 05° 09' 28" East 21.02 feet to an iron pin set on the new North right of way line of Dayton - Xenia Road at 41.86 feet left of centerline of construction Station 23+80.33 of Dayton-Xenia Road;

Thence along the new North right of way line 99.82 feet along the arc of a curve deflecting to the left, having a radius of 1894.75 feet, a chord bearing of South 80° 01' 02" East and a chord length of 99.80 feet to an iron pin set on the east line of Lot 36 and the west line of Lot 37, 39.25 feet left of the centerline of Station 24+80.67 of Dayton-Xenia Road;

Thence along the east line of Lot 36 and the west line of Lot 37 South 05° 09' 28" West 18.28 feet to a point at the southeast corner of Lot 36, the southwest corner of Lot 37 and on the existing north right of way line at 21.00 feet left of the centerline of Station 24+81.70 of Dayton-Xenia Road;

Thence along the south line of Lot 36 and the existing north right of way of North 81° 35' 20" West, 59.61 feet to the TRUE POINT OF BEGINNING.

The above described area contains 0.044 acres of land, more or less, subject to all legal easements and restrictions of record, of which the present road occupies 0.000 acres of land.

The description for parcel Number 7WD above was calculated and derived from a survey made under the supervision of Harry G. Herbst III, Ohio Registered Surveyor Number 6596.

Note: Iron pins, railroad spikes and pk nails referred to as "to be set" shall be set by LJB, Inc. upon the completion of construction. Iron pins set in the above description as 3/4' x 30' reinforcing rod with a plastic cap stamped "LJB INC".

The above described area is contained within the Greene County Auditor's Parcel Identification Number B42000200040003600. Within said bounds of the 0.044 acres more or less, is the present road right of way

Property Address: 4230 Dayton Xenia Rd., Dayton, OH 45432

Description Check
 Greene County Engineer's Tax Map Dept.
 Legally Sufficient As Described
 Legally Sufficient With Corrections Noted
 Legally Insufficient, New Survey Required
 Date: 8/25/15
 Par ID Dist 692 BK 2 PG 4 PAR 36

V3633 P0400

1 inch = 80 feet



STEDMAN

REEKSIDE TRAIL BIKE PATH

DAYTON XENIA

MAPLEVIEW

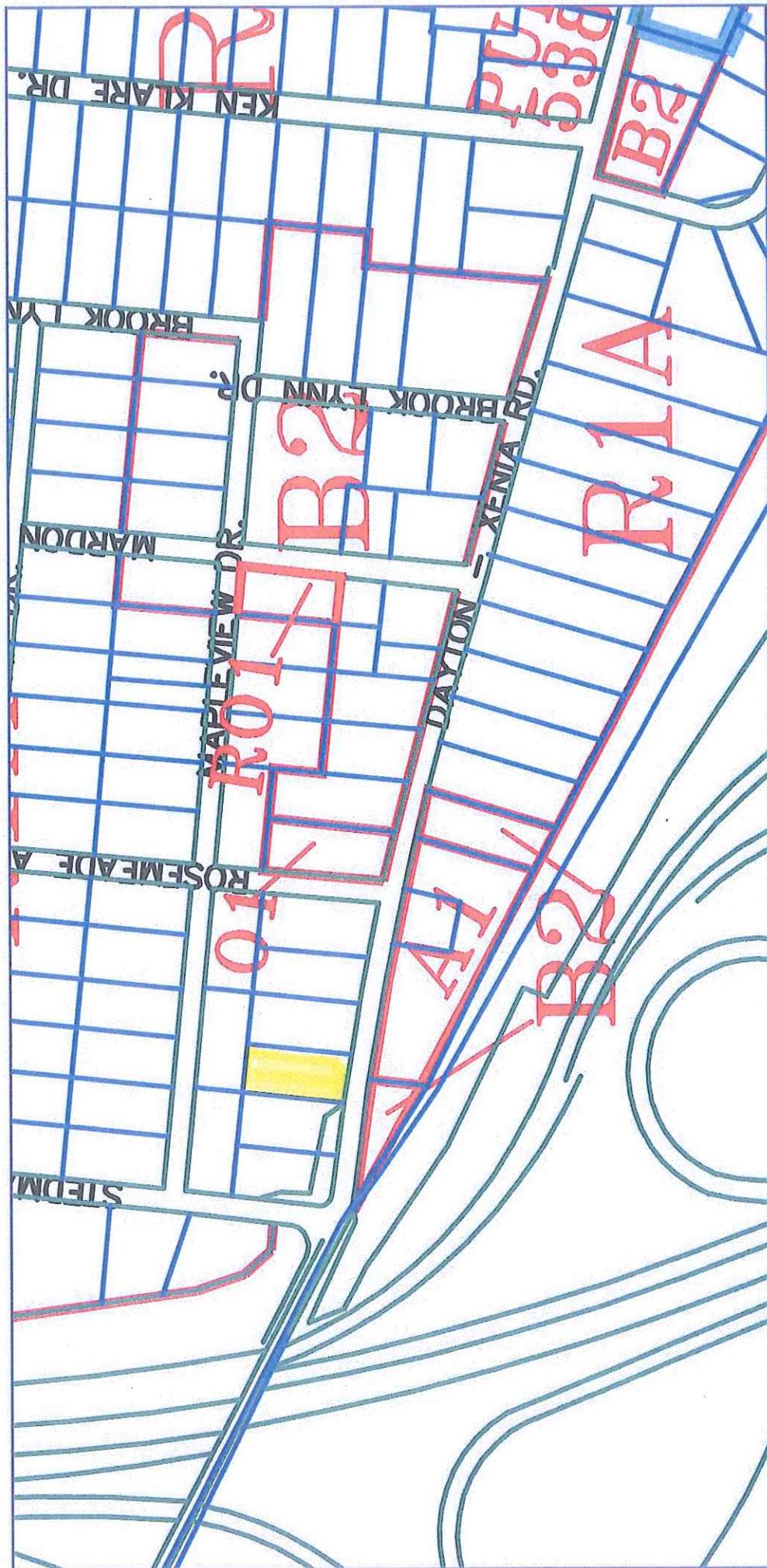
ROSEMEADE

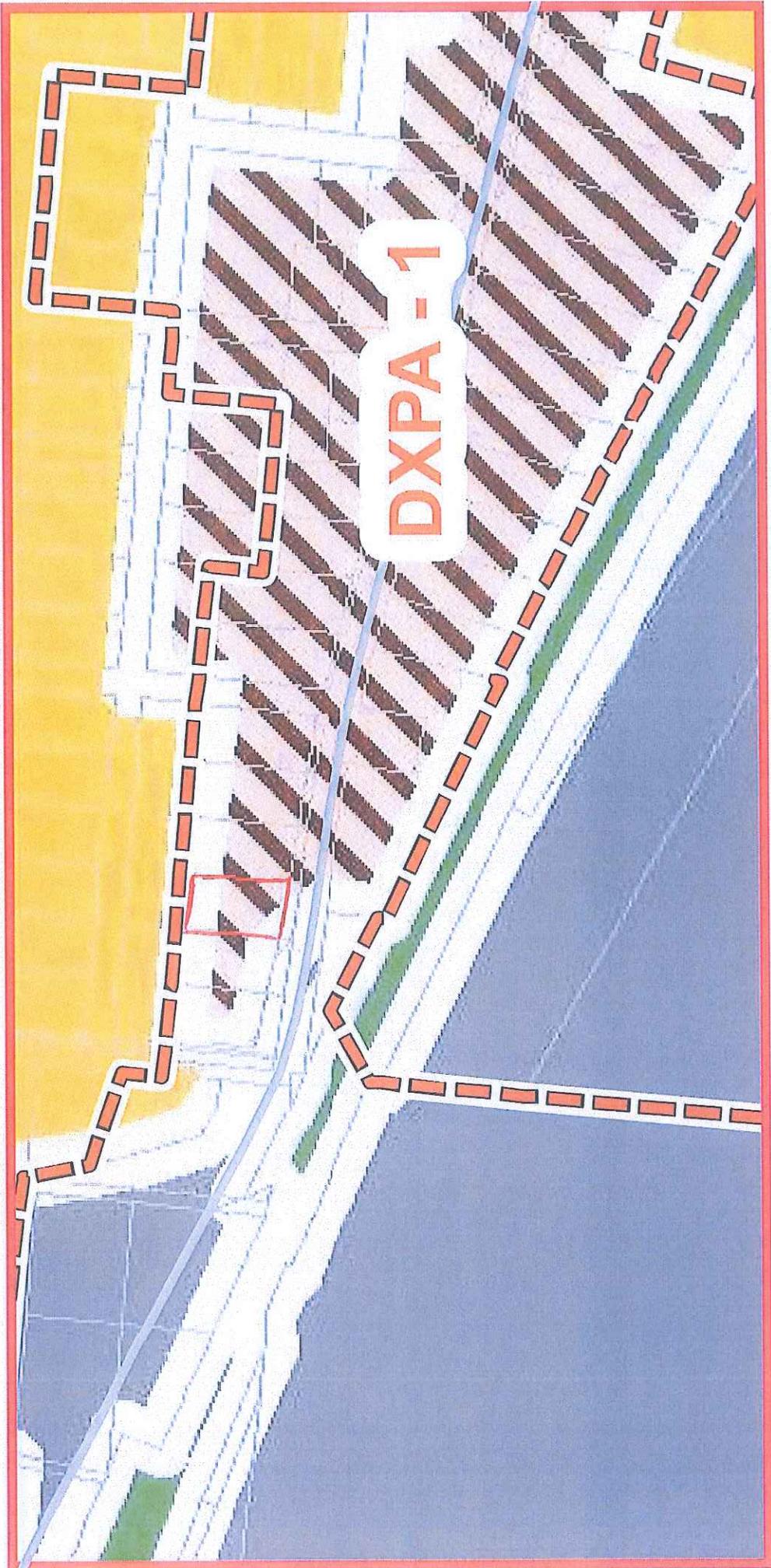
N



1 inch = 30 feet







DXPA-1



4221 Mapleview Drive
Beavercreek, OH 45432-1827
January 28, 2016

Mr. Michael Self, Chair
Beavercreek Planning Commission

Subject: Rezoning of Property at 4230 Dayton-Xenia Road, Beavercreek, Ohio

Dear Mr. Self:

My husband and I are concerned about the possible rezoning of the property at 4230 Dayton-Xenia Road from R-1A Family Residential District to RO-1 Residential Office District.

This section of Dayton-Xenia Road is totally residential. The property in question is in the middle of the homes.

Safety Reason Concerns:

- There are small children in our area that use the new sidewalk to walk and ride their bicycles.
- There are small children playing in the yards on both sides of this property. I think having many strangers pulling in and out this property is a concern of all of us. Clients may be coming to the business late in the evening.
- There is a great potential to have parking in the back of the house.
- The school bus stops in front of the street to pick up and deliver students

Noise Concerns:

- More traffic in and out as well as slamming car doors will increase the noise level in our quiet neighborhood.

Property Values

- It has the potential to affect the ease of resale of our property. People may not wish to live with a business abutting their home.

Sincerely,

Albert T. Sayles
Donna Sayles
Albert and Donna Sayles

To: Planning Commission of Beaver Creek, Ohio
Michael Self, Daniel Archibald, Charles Curran, and Troy Erbes

From: Concerned Homeowners of Dayton-Xenia Road and Maplevue Drive

Subject: Proposed Rezoning of Property at 4230 Dayton-Xenia Road, Beaver Creek, Ohio

Date: January 25, 2016

We are asking that you DO NOT approve the rezoning of 4230 Dayton-Xenia Road from R-1A One Family Residential District to a RO-1 Residential Office District.

This property is the middle lot of this section of Dayton-Xenia Road. A large majority of the homes surrounding this house are occupied by families with young children. We are concerned with the safety of the children because of increased traffic.

We are a family oriented neighborhood and want to retain the integrity of our area.

Name Address in Beaver Creek, Ohio

Donna Sayles	4221 Maplevue Dr.
Albert & I Sayles	4221 Maplevue Dr.
Donna & Albee	4222 Maplevue Dr.
Dick Hampton	4244 Maplevue Drive
Rachael Koelker	4203 Maplevue Drive
Shannon Koelker	4203 Maplevue Drive
Dona KUNER	4222 Dayton-Xenia Rd
Megan Kilner	4222 Dayton Xenia Rd
Steven Boyle	4232 Dayton-Xenia Rd.
Jawray King	4232 Dayton-Xenia Rd.
Rhonda Diebach	4241 Maplevue Dr

Name

Address in Beaver Creek, Ohio

Michael Jones

4254 Dayton Xenia Rd

Faye Marshall

4210 Mapleview Boulevard

Jamie Spicer

4232 Mapleview Dr.

James W. Spicer

4232 MAPLEVIEW DR.

Brenda Blain

4181 Mapleview Dr.

Myra R ^(mike Blain)

4181 MAPLEVIEW DR

John Walker

4222 MAPLEVIEW DR.

maria Blain

1621 Rosemeade Dr.

Brooke Rinehart

4210 Dayton Xenia Rd.

Brendan Humphreys

4210 DAYTON XENIA. RD.

Amy Jones

4254 Dayton Xenia Rd

William Hale

4200 Mapleview Dr.

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: February 3, 2016 Agenda Reference No.	Reference Topic MX PUD 93-4 Amend 1-16 Ashton Brook Phase 5
--	---

ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

REQUEST BY APPLICANT:

The applicant is requesting an amendment to the existing MX-PUD to increase the permitted number of multi-family residential housing units from 380 to a maximum of 412 units to allow for the construction of 32 additional multi-family units.

STAFF RECOMMENDATION:

Staff is recommending approval of this rezoning request as outlined in the attached resolution.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, disapproval, modification or tabling of the attached application for further review.

CITY OF BEAVERCREEK STAFF REPORT

January 19, 2016

PROJECT: Ashton Brooke Phase Five

CASE NO.: MX-PUD 93-4 Amendment 1/16

APPLICANT: Randall Woodings (Agent for Owner)
400 South Fifth St.
Suite 400
Columbus, OH 43215

REQUEST

The applicant is requesting an amendment to the existing MX-PUD to increase the permitted number of multi-family residential housing units from 380 to a maximum of 412 units to allow for the construction of 32 additional multi-family units.

DISCUSSION

Existing Zoning

This property is zoned as a Mixed-Use PUD, which allows for a mix of residential and non-residential uses. When the property was first zoned in 1993, the regulations limited the PUD to 386,000 square feet of retail, 490,000 square feet of office and 300 units of multi-family residential. Over the last 24 years, the PUD has been amended three times. The first time the PUD was amended was in 2002, and the change increased the allowed square footage of retail by 34,000 square feet (up to 420,000 square feet) and decreased the allowed square footage of office by 47,000 square feet (down to 443,000 square feet), with no change to the number of multi-family residential units. The second time the PUD was amended was in June of 2008 which decreased the allowed square footage of office by 67,500 square feet (down to 375,500 square feet) and added in hotel/hospitality as an allowed use, up to 67,500 square feet. The total square footage of retail, nor the number of multi-family residential units were affected by the second amendment. The third time this MX-PUD was amended, in 2009, was to increase the number of allowed apartment units from 300 to 380 units while combining the amount of office/hospitality square footage to 67,500 square feet, thereby eliminating 375,000 square feet of potential building. The total retail square footage was not affected by the third amendment.

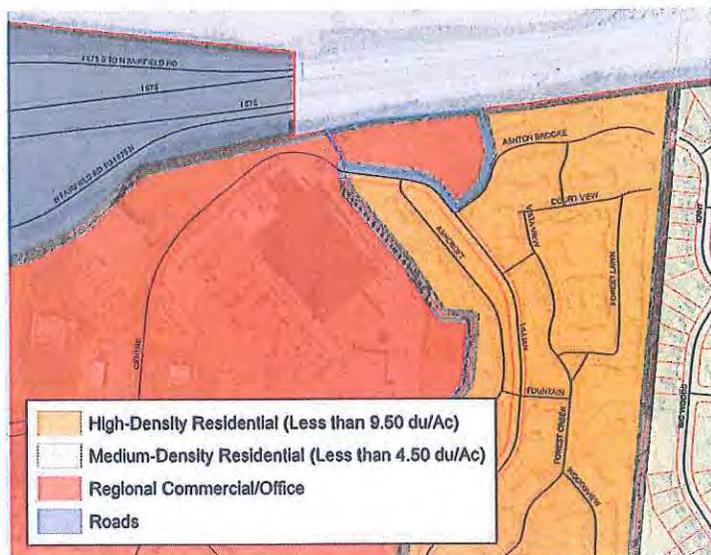
Existing Conditions

Currently, MX-PUD 93-4 has 350,602 square feet of commercial/retail floor area and 380 multi-family housing units on 87 acres, and no office development. The retail portion of the site, as noted in Exhibit A, incorporates the western half of the PUD, while the multi-family residential incorporates the eastern half of the PUD. The 3.33 acres of vacant land, between Lillian Lane and I-675 is the area where the applicant is proposing to expand Ashton Brook Apartments into Phase 5. This 3.33 acre area was amended in 2008 to allow for the construction of a 67,500 square foot hotel, but is now proposing a new amendment to allow for 32 additional units.

Land Use Plan

As noted on the Land Use Map to the right, the 3.33 acre area of the MX-PUD is designated mostly as Regional Commercial (red), however is also a transitional area between the High Density Residential to the east and south, and the Regional Commercial area to the west. Verbiage in the Land Use Plan specifically states,

“Boundaries between land use categories as shown on the Land Use Plan Map are not intended to be precise locations and Planning Commission may determine that a proposed development is in compliance with the Land Use Plan even though the development does not mirror the land use category boundaries shown on the Land Use Map.”



Given the property’s isolation from I-675, and its location relative to the retail to the west, this area is a natural extension of the existing high density residential and therefore, it is staff’s opinion this is one of the instances where it is appropriate for Planning Commission to use its discretion that the request is compliant with the Land Use Plan.

When looking at the MX-PUD in general, in context of the Land Use Map, it is obvious that the intent of this portion of the PUD was to act as a transition area between the intense commercial use along North Fairfield Road, and the lower intense medium density residential to the east of the PUD. The proposed amendment is compatible with that intent.

Proposed Changes

As noted in the attached Resolution, this Amendment proposes to increase the maximum

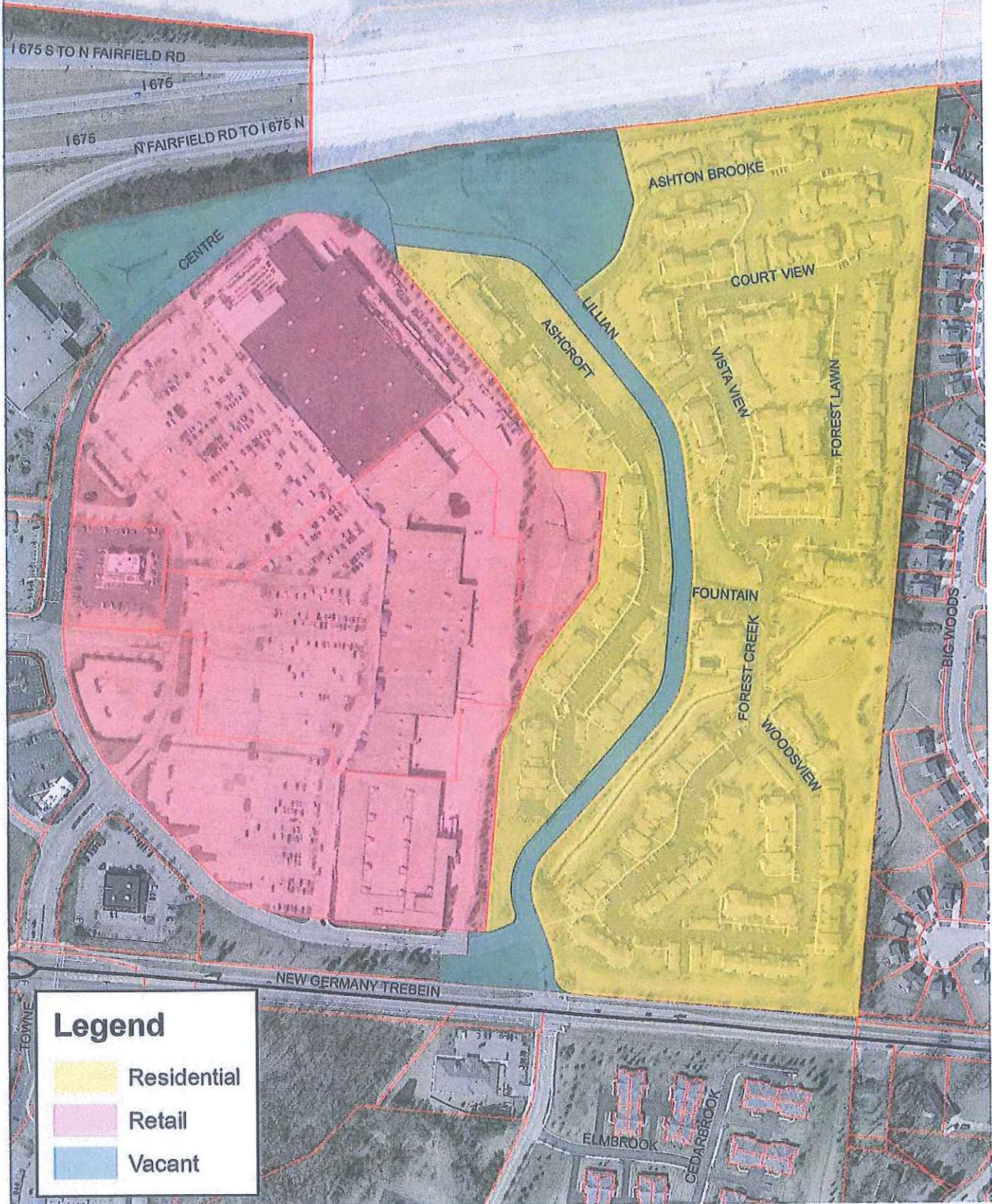
number of allowed multi-family residential housing units to 412 (from a current maximum of 380). If the 32 units are built, they bring the overall density of the High Density Residential of the PUD to 9.43 dwelling units per acre (412 units on 43.676 acres). No changes to the overall square footage to retail or Office/Hotel/Hospitality are proposed.

<u>Current Category</u>	<u>Current Limitations</u>	<u>Proposed Limitations</u>
Retail/Commercial/ Restaurant/Financial	420,000 square feet	420,000 square feet
Multi-Family Residential	380 units	412 units
Office/Hotel/Hospitality	67,500 square feet	67,500 square feet

Recommendation

Based on this analysis, Staff recommends approval of this request subject to the conditions outlined in the attached Resolution.

Exhibit A



RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
February 3, 2016

RE: PUD 93-4 Amendment 1-16
Ashton Brooke, Phase 5
Beavercreek Towne Centre

WHEREAS, Randall Woodings (Agent for owner), 400 South Fifth Street, Suite 400, Columbus OH 43215, has filed an application requesting approval of an amendment to Ordinance 09-34 to construct 32 multi-family residential units on the north side of Lillian Lane south of I-675. This property is further described as Book 4, Page 2, Parcel 24 on the property tax maps of Greene County, Ohio; and

WHEREAS, public hearing was held on February 3, 2016 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Planning Commission finds that the facts submitted with this application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Planned Unit Development approval as per §158.073 of the Zoning Code.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission recommends to the Beavercreek City Council:

SECTION I

1. All conditions of PUD 93-4 remain in full force and effect except where modified herein.
2. Condition #2 of Ordinance 09-34, Condition #3 of Ordinance 08-26, Condition #3 of Ordinance 02-3 and Condition B of Ordinance 93-66 are all hereby amended and the total square footage of buildings and structures allowed to be constructed in the MX-PUD development shall not exceed the following: 1. Retail/Commercial/Restaurant/Financial, 420,000 square feet; 2. Hotel/Hospitality/Office Development, 67,500 square feet; 3. Multi-family residential, 412 dwelling units.
3. All new residential dwelling units at a maximum density of 9.5 dwelling units per acres, not to exceed 32 units, must be located on the north side of Lillian Ln.

within the 3.33 acre parcel, as shown on the Concept Plan, stamped "Received January 7, 2016".

4. All buildings and accessory structures shall be set back a minimum of 30' from Lillian Ln.

SECTION II

These plans and all papers relating to the approved plan shall be submitted with this Resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED:

VOTING FOR ADOPTION:

VOTING AGAINST:

Chairman

Attest:

PUD 93-4 Amend 1-16 Ashton Brooke Resolution

ORDINANCE NO. 09-34
CITY OF BEAVERCREEK

SPONSORED BY COUNCIL MEMBER Hadley ON THE
23 DAY OF November, 2009.

AN ORDINANCE AMENDING ORDINANCES #08-26, #02-3 and #93-66 (MX-PUD 93-4) TO CONSTRUCT 80 MULTI-FAMILY RESIDENTIAL UNITS ON THE WEST SIDE OF LILLIAN LANE NORTH OF NEW GERMANY-TREBEIN ROAD, FURTHER DESCRIBED AS BOOK 4, PAGE 2, PARCEL 23 ON THE PROPERTY TAX MAPS OF GREENE COUNTY, OHIO (PUD 93-4, AMENDMENT 10/09).

WHEREAS, George J. Kontogiannis, 400 South Fifth Street, Suite 400, Columbus OH 43215, has requested this PUD Amendment; and

WHEREAS, the City of Beavercreek Planning Commission has recommended approval of this PUD Amendment with conditions and requirements; and

WHEREAS, the City Council finds that the facts submitted with the application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Planned Unit Development approval as per §158.073 of the Zoning Code; and

WHEREAS, the City Council has voted to adopt the recommendation of the Planning Commission with modifications, this being a decision that requires approval by four members of Council.

NOW THEREFORE THE MUNICIPALITY OF BEAVERCREEK HEREBY ORDAINS:

SECTION I

1. All conditions of PUD 93-4 remain in full force and effect except where modified herein.
2. Condition #3 of Ordinance 08-26, Condition #3 of Ordinance 02-3 and Condition B of Ordinance #93-66 are all hereby amended as to the total square footage of buildings and structures allowed to be constructed in this MX-PUD development and shall not exceed the following: 1. Retail/Commercial/Restaurant/Financial, 420,000 square feet; 2. Hotel/

*Proposed
for amendment.*

Hospitality/Office Development, 67,500 square feet; 3. Multi-family residential, 380 dwelling units.

3. All new residential dwelling units at a maximum density of 9.5 dwelling units per acres, not to exceed 80 units, must be located on the west side of Lillian Lane within the 8.41 acre parcel, as shown on the Concept Plan, stamped "Received October 21, 2009".
4. All buildings and accessory structures shall be set back a minimum of 30 feet from Lillian Lane.
5. This approval is contingent on the approval of PC 09-6, and shall not become effective until the aforementioned Land Use Plan Amendment case becomes officially effective. Should PC 09-6 be disapproved, this amendment shall be null and void.

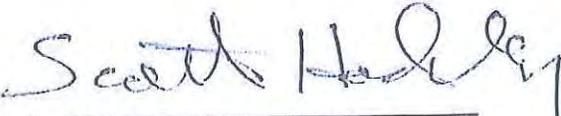
SECTION II

This Ordinance shall take effect from and after the earliest period allowed by law.

SECTION III

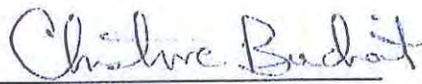
It is hereby found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council, and that any and all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements, including, but not limited to Section 121.22 of the Ohio Revised Code.

PASSED this 11 day of January, 2010.



Scott Hadley, Mayor

ATTEST:



Christine Budat
Clerk of Council

SUMMARY

This Ordinance adopts a recommendation to amend Ordinances #08-26, #02-3, and #93-66 (MX-PUD 93-4) to construct 80 multi-family residential units on the west side of Lillian Lane north of New Germany-Trebein Road.

This is not an emergency ordinance and will become effective 30 days after passage.

PUD 93-4 Amendment 10-09 Ashton Brooke Ordinance

ORDINANCE NO. 93-66
CITY OF BEAVERCREEK

SPONSORED BY COUNCILMEMBER Graff ON
THE 22nd DAY OF November, 1993.

AN ORDINANCE AMENDING ORDINANCE NO. 80-19, THE ZONING MAP, BY REZONING APPROXIMATELY 87.6 ACRES OF LAND LOCATED AT THE NORTHEAST CORNER OF NEW GERMANY-TREBEIN ROAD AND NORTH FAIRFIELD ROAD FROM B-3 GENERAL BUSINESS DISTRICT, B-4 HIGHWAY BUSINESS DISTRICT, O-1 OFFICE BUILDING DISTRICT, AND R-4 MULTI-FAMILY RESIDENTIAL DISTRICT TO MX-PUD, MIXED USE PLANNED UNIT DEVELOPMENT.

Whereas, MV-RG II and John Varner, et al Dayton, Ohio have filed an application requesting approval of the rezoning; and

Whereas, the City of Beavercreek Planning Commission has recommended approval of the rezoning with conditions and requirements; and

Whereas, the City Council finds that the facts submitted with the application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Planned Unit Development approval as per Section 17.06.9 of the Zoning Code; and

Whereas, the City Council finds that, each and all of the uses excluded from this MX-PUD Development are inappropriate and such uses satisfy the conditions of Section 17.14.2, Subsection 1.i, 1.ii and 1.iii of the Zoning Code and all of the excluded uses are inappropriate for this specific MX-PUD; and

Whereas, the property in question is currently a portion of PUD 88-18 and the applicant is seeking approval of a different Planned Unit Development for the 87.6 acre portion of the property; and

WHEREAS, the City Council finds that the proposed zoning is in compliance with the City of Beavercreek Land Use Plan, and

WHEREAS, the City Council has voted to adopt the recommendation of the Planning Commission, this being a decision that requires approval by four members of Council;

NOW THEREFORE THE MUNICIPALITY OF BEAVERCREEK HEREBY ORDAINS:

SECTION I.

That the zoning map attached to Ordinance 80-19 passed on the 18th day of February, 1980, as subsequently amended, is hereby further amended to change approximately 87.6 acres of land located at

the northeast corner of New Germany-Trebein Road and North Fairfield Road from B-3 General Business District, B-4 Highway Business District, O-1 Office Building District, and R-4 Multi-Family Residential District to MX-PUD, Mixed Use Planned Unit Development.

SECTION II.

The following conditions and requirements shall apply:

- A. The concept plan marked "Received Beaver Creek Planning Department, November 19, 1993" is approved and shall be incorporated as part of this zoning approval.
- B. The total square footage of buildings and structures allowed to be constructed in this MX-PUD development shall not exceed the following:
 1. Retail/commercial/restaurant/financial, 386,000 square feet.
 2. Office development, 490,000 square feet.
 3. Multi-family residential, 300 dwelling units.
- C. The maximum acreage which can be devoted to commercial development shall not exceed 50 acres. Maximum acreage which can be devoted to office development shall not exceed 40 acres. Residential development shall be at least a minimum of 15 acres with a maximum of 40 acres for residential development. Residential density shall not exceed 10 dwelling units per acre.
- D. Access to the property shall be as shown on the concept plan.
- E. Setbacks of structures and uses on the property from the northern, eastern, and western boundary lines shall be at least 50 feet. However, reductions in setbacks may be allowed at specific site plan review based on adjacent land use compatibility.
- F. Setback of structures and uses from New Germany-Trebein Road shall be at least 70 feet.
- G. The applicant shall cause to be prepared and submitted, in conjunction with the first specific site plan application for the subject property, a traffic study showing the traffic and roadway improvements required as a result of the development of the subject property. Certain roadway and traffic improvements may be required of the owner as a result of the planned development of the subject property. Such roadway and traffic improvements shall be determined by the City Engineer prior to approval of any specific site plan for the subject property, and based, in part, upon the traffic study submitted by the applicant at the time of submission of the first specific

AMENDED BY
ORD. 02-32

site plan application for the subject property.

- H. Uses permitted in this MX-PUD district shall be hotels, motels, convention, conference and banquet facilities, and those permitted and conditional uses allowed in the B-3, O-1 and R-4 districts except for the following excluded conditional uses.
- o Trailer Sales, Services and Rental
 - o Dormitories and Group Housing
 - o Fraternities, Sororities, Clubs, Lodges, Social or Recreational Buildings or properties not for profit.
- I. At the time the City considers application for specific site plan approval, the owner shall identify public roadway improvements that are required to handle traffic impacts resulting from the development. Those improvements, as maybe modified by the City Engineer in his sole and complete discretion and based upon traffic engineering and traffic safety standards, shall be the responsibility and obligation of the owner. In the event special assessment legislation is adopted by the Beaver Creek City Council in connection with the roadway improvements referred to in this specific condition and requirement No. I, or in the event the subject property is subject to a roadway impact fee adopted by the Beaver Creek City Council, the Owner's obligation and responsibility under this condition and requirement shall be released and waived to the extent such responsibility and obligation is covered by and included within such special assessment legislation or such roadway impact fee. In no event, however, shall the Owner be released of the obligation to identify in the application for specific site plan approval those public roadway improvements that are required to handle traffic impacts resulting from the development of the subject property.
- J. In addition to the herein responsibilities, obligations, conditions and requirements, all other matters related to this rezoning and this development shall fully comply with applicable City of Beaver Creek laws, rules, regulations and codes.

SECTION III.

This Ordinance shall take effect from and after the earliest period allowed by law.

Passed this 10th day of January, 1994.


Mayor

ATTEST:

Lucia W. Ball
Clerk of Council

12/7/93
PUD 93-4.ORD

SUMMARY

This Ordinance adopts a recommendation to rezone approximately 87.5 acres of land located at the north-east corner of New Germany Trebein Road and North Fairfield Road from B-3 General Business District, B-4 Highway Business District, O-1 Office Building District and R-4 Multi-Family Residential District to MX-PUD. This is no an emergency ordinance and will become effective 30 days after passage.

ORDINANCE NO. 02-32

CITY OF BEAVERCREEK

SPONSORED BY COUNCIL MEMBER Stone ON THE
23rd TH DAY OF October, 2002.

AN ORDINANCE TO AMEND REZONING ORDINANCE #93-66 AND THE APPROVED CONCEPT PLAN FOR PUD 93-4 AND PERMITTED USES FOR PROPERTY LOCATED ON THE NORTH SIDE OF NEW GERMANY-TREBEIN ROAD NEAR THE NORTHERN EXTENSION OF LILLIAN LANE, FURTHER DESCRIBED AS BOOK 4, PAGE 2, PARCELS 1 AND 18 THROUGH 24 ON THE PROPERTY TAX MAPS OF GREENE COUNTY, OHIO; AMOUNT OF AREA BEING APPROXIMATELY 87.5 ACRES. (PUD 93-4 AMENDMENT)

Whereas, George J. Kontogiannis and Glenn C. Gunlock/MV-RGII have requested the zoning amendment; and

Whereas, the City of Beavercreek Planning Commission has recommended the approval of the rezoning amendment with conditions and requirements; and

Whereas, the City Council finds that the facts submitted with the application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Planned Unit Development approval as per §158.068 of the Zoning Code; and

WHEREAS, the City Council has voted to adopt the recommendation of the Planning Commission with modifications, this being a decision that requires approval by four members of Council;

NOW THEREFORE THE MUNICIPALITY OF BEAVERCREEK HEREBY ORDAINS:

SECTION I

That the rezoning ordinance #93-66 and approved concept plan for PUD 93-4 is hereby amended as described in Section II.

SECTION II

The following conditions and requirements shall apply:

1. The approved concept plan shall be that plan dated "Received July 30, 2002" except as modified herein.
2. It is the City's findings that 9,387 square feet remain of the original 386,000 square feet allocated for retail/commercial/restaurant/financial uses, and that the acreage currently devoted to these uses in this PUD comprise 39.239 acres.
3. Condition B of Ordinance No. 93-66 is hereby amended as follows: "B. The total square footage of buildings and structures allowed to be constructed in this MX-PUD development shall not exceed the following: 1. Retail/commercial/restaurant/financial, 420,000 square feet. 2. Office development, 443,000 square feet. 3. Multi-family residential, 300 dwelling units."
4. Any use of the commercial square footage made available to the property currently owned by MV-RG II may only be applied to expansion of an existing building or structure on the

AMENDED BY
ORD. 08-26

property and not to the construction of new stand-alone buildings or structures.

5. Any development of retail/commercial/restaurant/financial uses on the property currently owned by George J. Kontogiannis must be located west of Lillian Lane.
6. All other approvals, conditions, and requirements for MX-PUD 93-4 shall remain in full force and effect.

SECTION III

This Ordinance shall take effect from and after the earliest period allowed by law.

SECTION IV

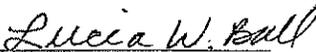
It is hereby found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council, and that any and all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements, including, but not limited to Section 121.22 of the Ohio Revised Code.

PASSED this 25th day of November, 2002.



Mayor

ATTEST:



Clerk of Council

SUMMARY

This Ordinance adopts a recommendation to amend rezoning ordinance #93-66 and the approved concept plan for PUD 93-4 and permitted uses for property located on the north side of New Germany-Trebein Road, further described as Book 4, Page 2, Parcels 1 and 18 through 24 on the property tax maps of Greene County, Ohio.

This is not an emergency ordinance and will become effective 30 days after passage.

Pud 93-4 amendment ordinance.doc

ORDINANCE NO. 08-26
CITY OF BEAVERCREEK

SPONSORED BY COUNCIL MEMBER Leonard ON THE
28 TH DAY OF July, 2008.

AN ORDINANCE AMENDING ORDINANCE #89-22, #93-66 AND #02-32 (MX-PUD 93-4) TO MODIFY PERMITTED SQUARE FOOTAGES FOR 3.332 ACRES OF LAND LOCATED AT THE NORTHERN EXTENSION OF LILLIAN LANE AND SOUTH OF I-675, FURTHER DESCRIBED AS BOOK 4, PAGE 2, PARCEL 24 ON THE PROPERTY TAX MAPS OF GREENE COUNTY, OHIO (PUD 93-4, AMENDMENT 6/08).

Whereas, George J. Kontogiannis, 400 South Fifth Street, Suite 400, Columbus OH 43215 has requested this zoning amendment; and

Whereas, the City of Beavercreek Planning Commission has recommended approval of the zoning amendment with conditions and requirements; and

Whereas, the City Council finds that the facts submitted with the application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Planned Unit Development approval as per §158.073 of the Zoning Code; and

WHEREAS, the City Council has voted to adopt the recommendation of the Planning Commission with modifications, this being a decision that requires approval by four members of Council;

NOW THEREFORE THE MUNICIPALITY OF BEAVERCREEK HEREBY ORDAINS:

SECTION I

1. All conditions and requirements of MX-PUD 93-4 and any subsequently approved amendments shall remain in full force and effect except where specifically amended by the following conditions.
2. The plan stamped "Received June 5, 2008" is the approved plan and shall be incorporated as part of this zoning amendment except as further modified by the following conditions.
3. The Planning Commission recommends that City Council amend Condition #3 of Ordinance 02-3 to read as follows:

Amended
by ORD. 09-34

"Condition B of Ordinance No. 93-66 is hereby amended as follows: ' B. The total square footage of buildings and structures allowed to be constructed in the MX-PUD development shall not exceed the following: 1. Retail/Commercial/Restaurant/Financial, 420,000 square feet. 2. Office development, 375,500 square feet. 3. Multi-family residential, 300 dwelling units. 4. Hotel/Hospitality, 67,500 square feet. '"

SECTION II

This Ordinance shall take effect from and after the earliest period allowed by law.

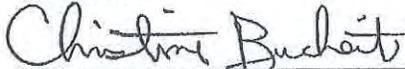
SECTION III

It is hereby found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council, and that any and all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements, including, but not limited to Section 121.22 of the Ohio Revised Code.

PASSED this 25 day of August, 2008.


Vice Mayor

ATTEST:


Clerk of Council

SUMMARY

This Ordinance adopts a recommendation to amend Ordinance #89-22, #93-66 and #02-32 (MX-PUD 93-4), to modify permitted square footages for 3.332 acres of land located at the northern extension of Lillian Lane and south of I-675.

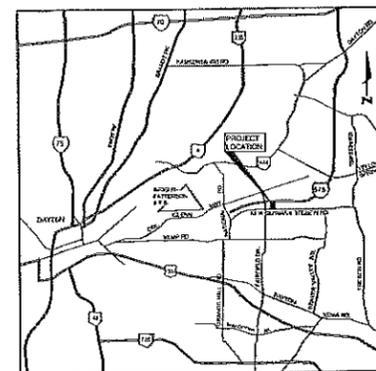
This is not an emergency ordinance and will become effective 30 days after passage.

ASHTON BROOK PHASE FIVE

THE CROSSINGS AT FAIRFIELD
PUD 93-4
(LOT 4)

LIST OF DRAWINGS

NO.	SHEET	TITLE
1.	COVER	COVER SHEET
2.	SP-1	SCHEMATIC SITE PLAN
3.	SP-2	PUD SITE PLAN
4.	SS-1	MX-PUD PROPERTY DESCRIPTION
5.	SS-2	SPECIFIC SITE SURVEY
6.	SU-1	PUD SITE UTILITIES



VICINITY MAP
NO SCALE

ENGINEERS:

BRH Group, Inc.
444 SOUTH FRONT ST
COLUMBUS, OH 43215
PHONE: (614) 220-9122
FAX: 614-572-0446



KONTOGIANNIS & ASSOCIATES
ARCHITECTURE PLANNING DESIGN
400 SOUTH FIFTH STREET SUITE 400
COLUMBUS, OHIO 43215-5492
PHONE: 614-224-2083 FAX: 614-224-4736
E-MAIL: architects@kontogiannis.com

ZONING SET 01RGZ016
 BID SET
 PERMIT SET
 CONSTRUCTION SET



GEORGE J. KONTOGIANNIS, LICENSE #3784
 EXPIRATION DATE 12/31/2017
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 GEORGE J. KONTOGIANNIS & ASSOCIATES

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KONTOGIANNIS & ASSOCIATES

ARCHITECTURE
PLANNING
DESIGN

400 SOUTH FIFTH ST
SUITE 400
COLUMBUS, OHIO
43215-5492

PHONE: 614-224-2083
FAX: 614-224-4736
E-MAIL: architects@kontogiannis.com

PROJECT:
**THE CROSSINGS
AT FAIRFIELD
PUD 93-4
(LOT 4)
ASHTON
BROOK
PHASE FIVE**

CITY OF BEAVERCREEK
GREENE COUNTY, OHIO

DRAWING TITLE:
**PUD SITE
UTILITIES**

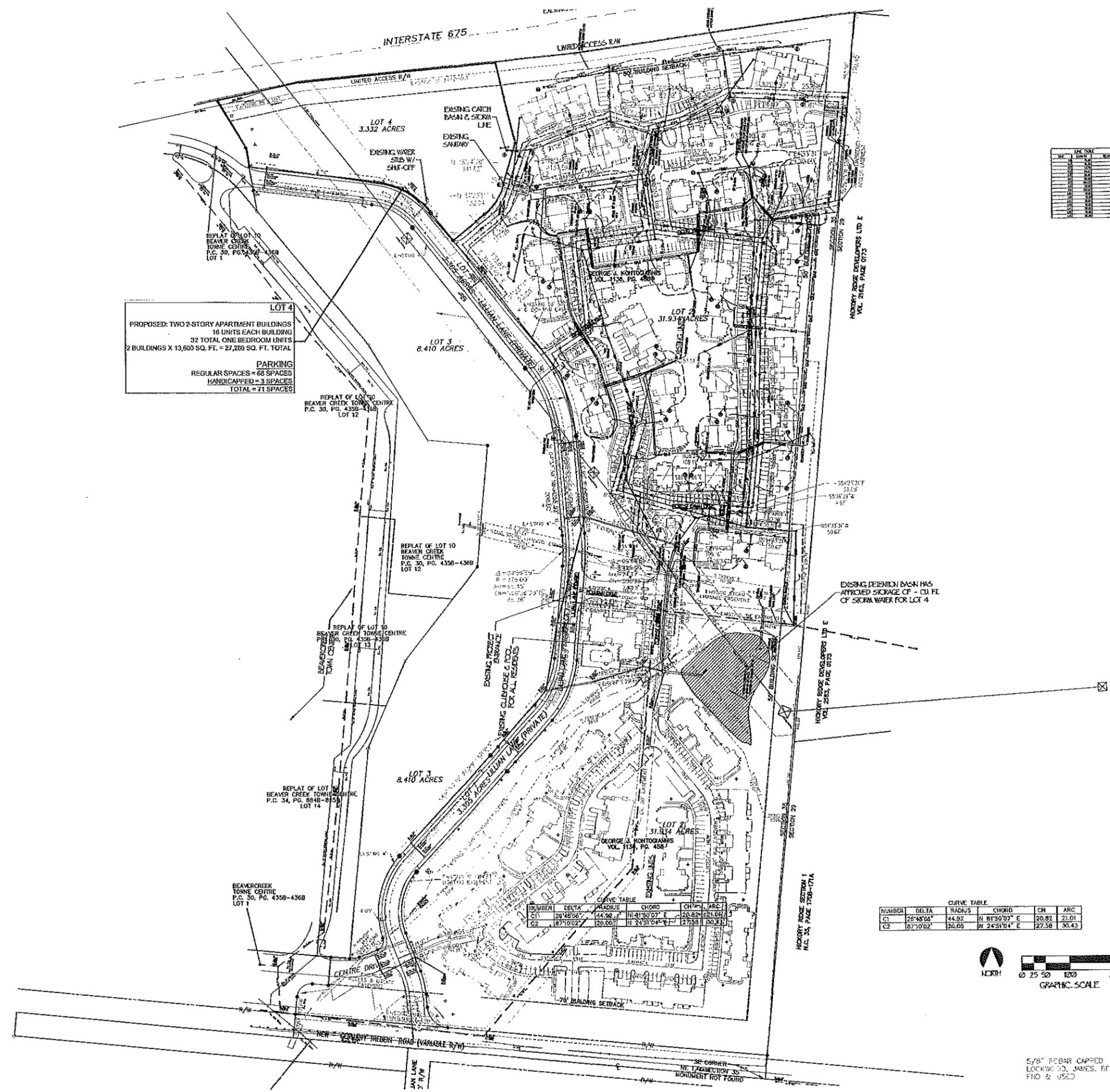
DATE: 01/05/2016
REVISED:

GEORGE J. KONTOGIANNIS, LICENSE #9784
EXPIRATION DATE 12/31/2027

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GEORGE J. KONTOGIANNIS & ASSOCIATES

- DESIGN SET
- ZONING SET
- BID SET
- CONSTRUCTION SET

SU-1



1/5/2016 10:35:39 AM, bmd\jdr



**KONTOGIANNIS
& ASSOCIATES**

ARCHITECTURE
PLANNING
DESIGN

400 SOUTH FIFTH ST
SUITE 400
COLUMBUS, OHIO
43215-5492

PHONE: 614-224-2083
FAX: 614-224-4736
E-MAIL: architects@kontogianis.com

PROJECT:

**THE
CROSSINGS
AT FAIRFIELD
PUD 93-4
(LOT 4)
ASHTON
BROOK
PHASE FIVE**

CITY OF BEAVERCREEK
GREENE COUNTY, OHIO

DRAWING TITLE:

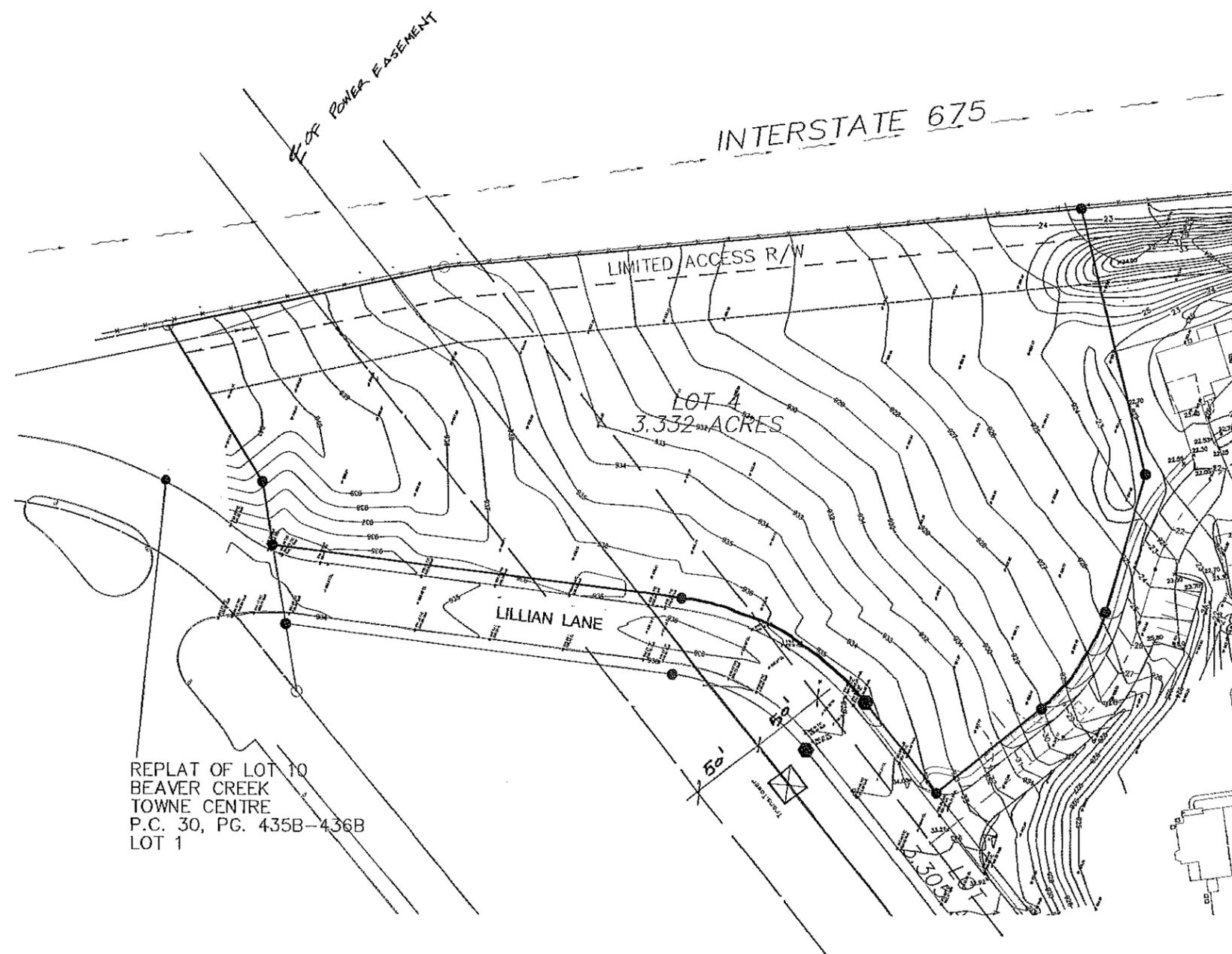
**SPECIFIC SITE
SURVEY**

DATE: 01/05/2018
REVISED:

GEORGE J. KONTOGIANNIS, LICENSE #3784
EXPIRATION DATE 12/31/2017
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GEORGE J. KONTOGIANNIS & ASSOCIATES

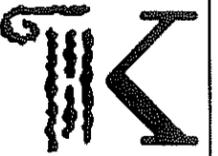
- DESIGN SET
- ZONING SET
- BID SET
- CONSTRUCTION SET

SS-2



SPECIFIC SITE SURVEY
SCALE: 1" = 40'





KONTOGIANNIS & ASSOCIATES

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PLANNING
DESIGN

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SUITE 400
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43215-5492

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PROJECT:

**THE CROSSINGS
AT FAIRFIELD
PUD 93-4
(LOT 4)
ASHTON
BROOK
PHASE FIVE**

CITY OF BEAVERCREEK
GREENE COUNTY, OHIO

DRAWING TITLE:
PUD SITE PLAN

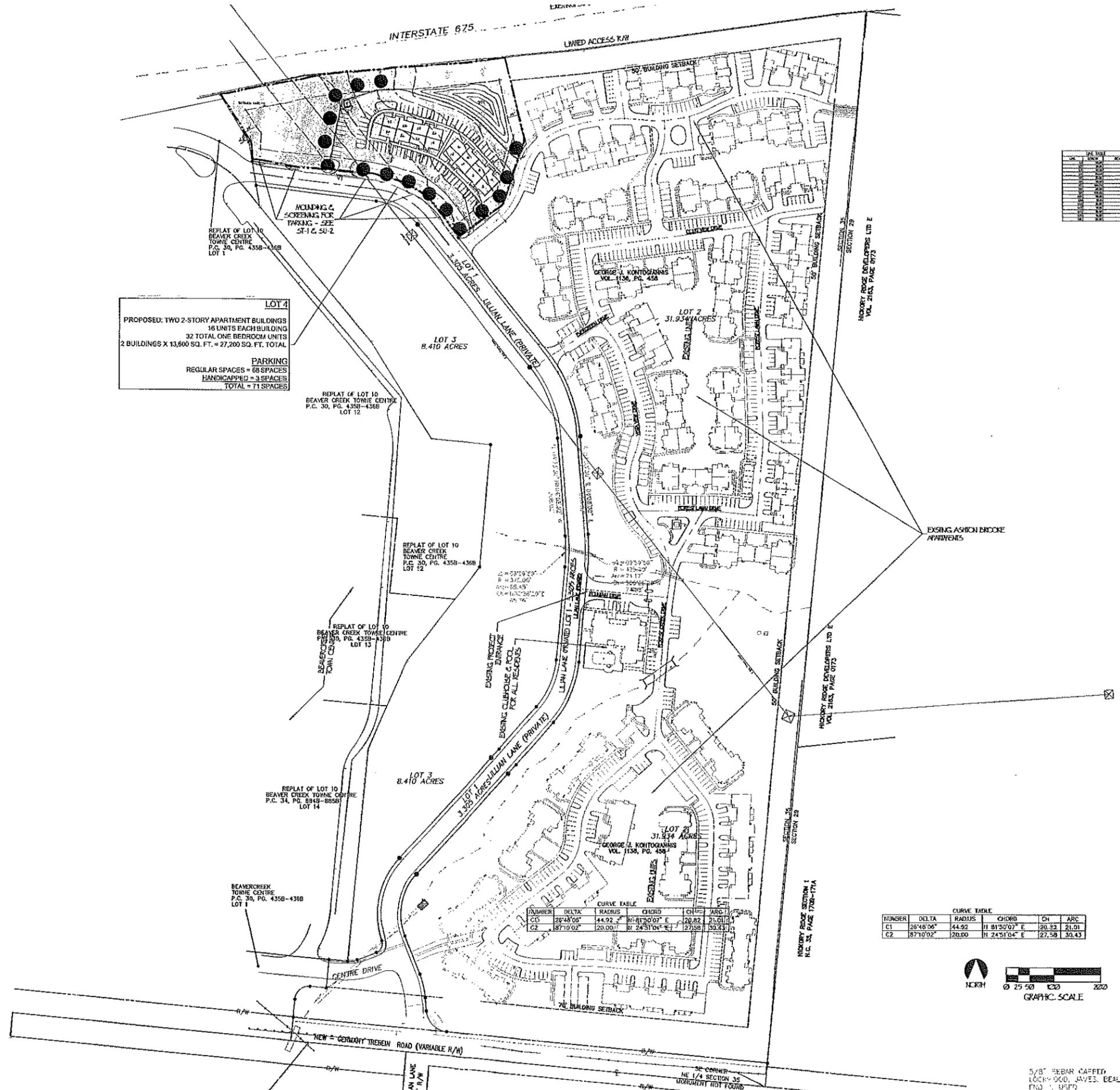
DATE: 01/05/2016
REVISED:

GEORGE J. KONTOGIANNIS, LICENSE #2784
EXPIRATION DATE 03/31/2017
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- DESIGN SET
- ZONING SET
- BID SET
- CONSTRUCTION SET

SP-2

NO.	DATE	DESCRIPTION
1	01/05/2016	ISSUED FOR PERMIT
2	01/05/2016	ISSUED FOR PERMIT
3	01/05/2016	ISSUED FOR PERMIT
4	01/05/2016	ISSUED FOR PERMIT
5	01/05/2016	ISSUED FOR PERMIT
6	01/05/2016	ISSUED FOR PERMIT
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50	01/05/2016	ISSUED FOR PERMIT



1/6/2016 10:35:03 AM, jandjgjr

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: February 3, 2016	Reference Topic PUD 15-3 SSP #1
Agenda Reference No.	AAA Bob Sumerel Tire

ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

REQUEST BY APPLICANT:

The applicant is requesting approval of a specific site plan to allow for the construction of a 9,100 square foot combined AAA Travel and Insurance/AAA Tire and Auto Care Store on 1.61 acres. The property is located on the south side of Dayton-Xenia Road, approximately 100 feet west of the intersection of North Fairfield Road and Dayton-Xenia Road.

STAFF RECOMMENDATION:

Staff is recommending approval of this request as outlined in the attached Resolution.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, disapproval, approval with modification, or tabling of the attached application for further review.

CITY OF BEAVERCREEK STAFF REPORT

January 29, 2016

PROJECT: AAA Bob Sumerel Tire

CASE NO.: PUD 15-3 SSP#1

APPLICANT: Peter Joseph (Agent for Owner)
15 West Central Parkway
Cincinnati, Ohio 45202

REQUEST

The applicant is requesting approval of a specific site plan to allow for the construction of a 9,100 square foot combined AAA Travel and Insurance/AAA Tire and Auto Care Store on 1.61 acres. The property is located on the south side of Dayton-Xenia Road, approximately 100 feet west of the intersection of North Fairfield Road and Dayton-Xenia Road.

ANALYSIS

Existing Site Conditions

This site has had a long history of several different restaurants, including the most recent, Woody's BBQ, located in the 3050 square foot structure. The site has two full access points and several parking spaces. Should this site plan be approved, it is the applicant's intent to demo the building and parking areas.



Surrounding Zoning and Uses

This property was rezoned from B2 and R-1A to C-PUD 15-3 in July of last year. The rezoning also created a 50-foot buffer area between this property and the residential property to the southwest. All building/parking lot setbacks, as well as all buffer requirements have been met. As noted on the picture above, this buffer area will further separate the non-residential use from the residential use. Minor vehicular repair and insurance offices are a permitted use within this PUD.

The surrounding zoning and uses are as follows:

Direction	Surrounding Zoning	Surrounding Use
North	B2	Retail (CVS)
South	R-1A, PUD 88-3	Single Family Residential and multi-tenant retail
East	ROW, B2	North Fairfield Road, Former Friendly's Restaurant
West	B2	Multi-tenant professional offices

Building Design

The applicant is proposing the construction of a one-story, flat roofed building, 26.28 feet tall on the north end and 22.9 feet tall on the south end. The proposed building will be 9,100 square feet measuring approximately 65 feet wide and 140 feet long.

The majority of the building will be constructed of red brick. The decorative cornice and cap on the top of the each of the four elevations will be constructed of grey EIFS. Wrapping of the base of the entire building is 3-foot, grey split faced block base, capped by a grey cast stone sill. On the western and eastern elevations, approximately 48 feet back from the front of the building, are four insulated overhead doors. The three northernmost doors are 11 feet tall, and the southernmost door is 13 feet tall. Metal service doors are proposed on both the western and eastern elevations. Staff has added a condition that they be painted to match the surrounding brick. Additionally, staff has added a condition that all downspouts/scuppers be internal.

The main entrance to the building will be the northern elevation. Above the double entrance doors is a white metal canopy, and a semi-arched white EIFS entry accent feature, which will extend approximately 31 feet high. This same entry semi-arched feature and canopy is proposed on the northern end of the eastern elevation.

Included in your packet, overlaid on the site plan, is the floor plan of the proposed building. The floorplans show that the office portion of the building, approximately 2,900 square feet, will be the northern third of the building. The central portion of the building will house the auto service and tire replacement and will be approximately 4,500 square feet. The southern

1,700 square feet of the building will be used for storage and the technician's office.

The proposed dumpster for the site will be located to the southwest of the building. It is shown as being screened with an enclosure and a closable gate. Per condition #19, the dumpster enclosure shall be constructed of the same brick/split face block as the primary building.

Access and Transportation Improvements

The applicant is proposing to maintain the two existing access points to the site. The main entrance will be along the western edge of the PUD and will be a full access point. The secondary access, which will be a right-in, right-out only access point, as required by the rezoning, will be toward the center of the PUD, just to the east of the proposed building. The applicant has expressed the desire that this secondary access point be full in, right out only. However with the proximity to the intersection of Dayton-Xenia Road/North Fairfield Road, as well as the lack of an appropriate turning lane in front of the access point, staff is continuing to recommend right-in, right-out only at this location. Appropriate curbing has been shown at this entrance to ensure compliance with the rezoning ordinance.

Utilities

Water and Sewer services are available to this site.

Stormwater Management

Since this is currently a developed lot, and there will be an increase in the amount of impervious surface to the site, the applicant is required, by ordinance, to detain any additional stormwater runoff generated by the redevelopment of this site. The stormwater management/grading plan shows that the applicant is proposing to construct a detention pond, or dry pond, in the southwest corner of the property. Prior to the release of a zoning permit, the Engineering Department will review and approve the final stormwater management plans to ensure compliance with City regulations.

Parking

Vehicle repair stations (minor) are required to have one off-street parking space for each 500 square feet of floor area, plus one for each employee on the largest shift, plus one for each vehicle used in the business and kept on the premises. Insurance offices are required to have one off-street parking space for each 200 square feet of floor area, plus one for each employee on the largest shift. Based on the submitted floor plan and the definition of net floor area (as defined in the Zoning Code in 158.114 (S) (3)), the proposed building has 5,690 square feet of net floor area attributed to the vehicle repair station portion of the building, which will require 11 spaces, and 2,070 square feet of net floor area attributed to the insurance office portion of the building, which

will require 10 spaces (see Attachment A highlighting areas used in calculation). The applicant has stated that there will be 17 employees in the building on the largest shift, and there will be no vehicle used and stored on site. In total, this portion of the PUD will be required to have 38 off-street parking spaces, two of which will need to be ADA compliant. This application shows 43 off-street parking spaces and two ADA compliant. This application exceeds the minimum spaces required in the Zoning Code, and will likewise meet the minimum number of spaces required by the ADA.

As a temporary measure, staff has added a condition that parking blocks be installed along the easternmost parking spaces until the eastern portion of the PUD develops, as shown on the proposed site plan. Additionally, while it was addressed during the legislative phase of the PUD, staff added a condition that reiterates the prohibition of storage of vehicles in the parking lot overnight.

Screening, Landscaping and Open Space

Any time commercial or office development is planned adjacent to residential neighborhoods, it is important to pay particular attention to the screening of the private homes. As shown on this application, the applicant has included a landscape plan that shows their intention to screen the building from the residential homes to the south adding new evergreen trees. Along the western and southern property line, 23 proposed Norway spruce trees are shown approximately 10 to 12 feet apart. As this site sits above the residential properties, the applicant has shown the spruce trees to be 7 to 8 feet in height at planting, rather than the typical 5 to 6 feet.

In addition to the evergreen trees described above, the applicant is showing the combination of evergreen shrubs, deciduous trees and shrubs and decorative grasses to help make the site more attractive. Staff has added a condition that the final landscape plan show landscaping around the perimeter of the northern portion of the building, as well as evergreen shrubs to be planted along the southern portion of the parking lot to help block headlights.

Overall, staff is pleased with the extent of the landscaping being proposed with this development, and the extensive investment the proposed landscape plan represents. These plans signify the property owner's intention of developing an overall attractive site.

Lighting

The lighting and photometric plans included in your packet call for 16-foot ground mounted poles on two foot bases. In order to be sensitive to the residential properties to the south, staff has added a condition that requires light poles, plus the base be no higher than 16 feet, and that lights be reduced to 25% of full operating levels after the closing of the building. Staff will review the final photometric plan to ensure compliance with our minimum standards.

The condition in the resolution further requires these to be located within terminal parking islands or in the perimeter landscape area. This will ensure that cars don't bump into the concrete base, chipping and degrading the appearance of the pole base. The light fixtures will be full cut-off light fixture which will direct light toward the parking lot, and not toward the sky, to reduce "light pollution".

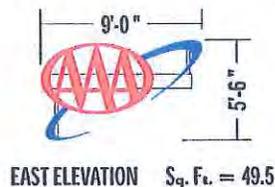
Signage

The applicant is proposing one ground sign and six wall signs with this application. The proposed ground sign, which will be located between the existing sidewalk and the proposed drive aisle to the site, will be 5 feet tall, 24 square feet per sign face, and be on a brick base. The sign will be internally illuminated.

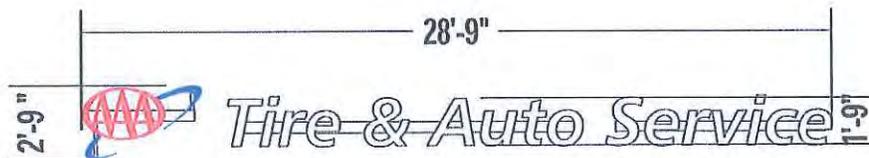
The proposed wall sign are as follows:

East Elevation

- 49.5 square foot AAA logo sign



- 79.75 square foot logo and letter sign

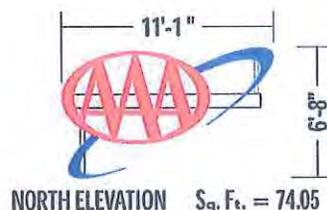


- 18.27 square foot letter sign



North Elevation

- 74.05 square foot AAA logo sign



- 18.27 square foot letter sign (same as East elevation)

West Elevation

- 79.75 square foot logo and letter sign (same as East elevation)

The total of all wall signs adds up to approximately 320 square feet. Staff has added a condition that all letters and panels are to be individually mounted, not raceway signage.

Construction Hours

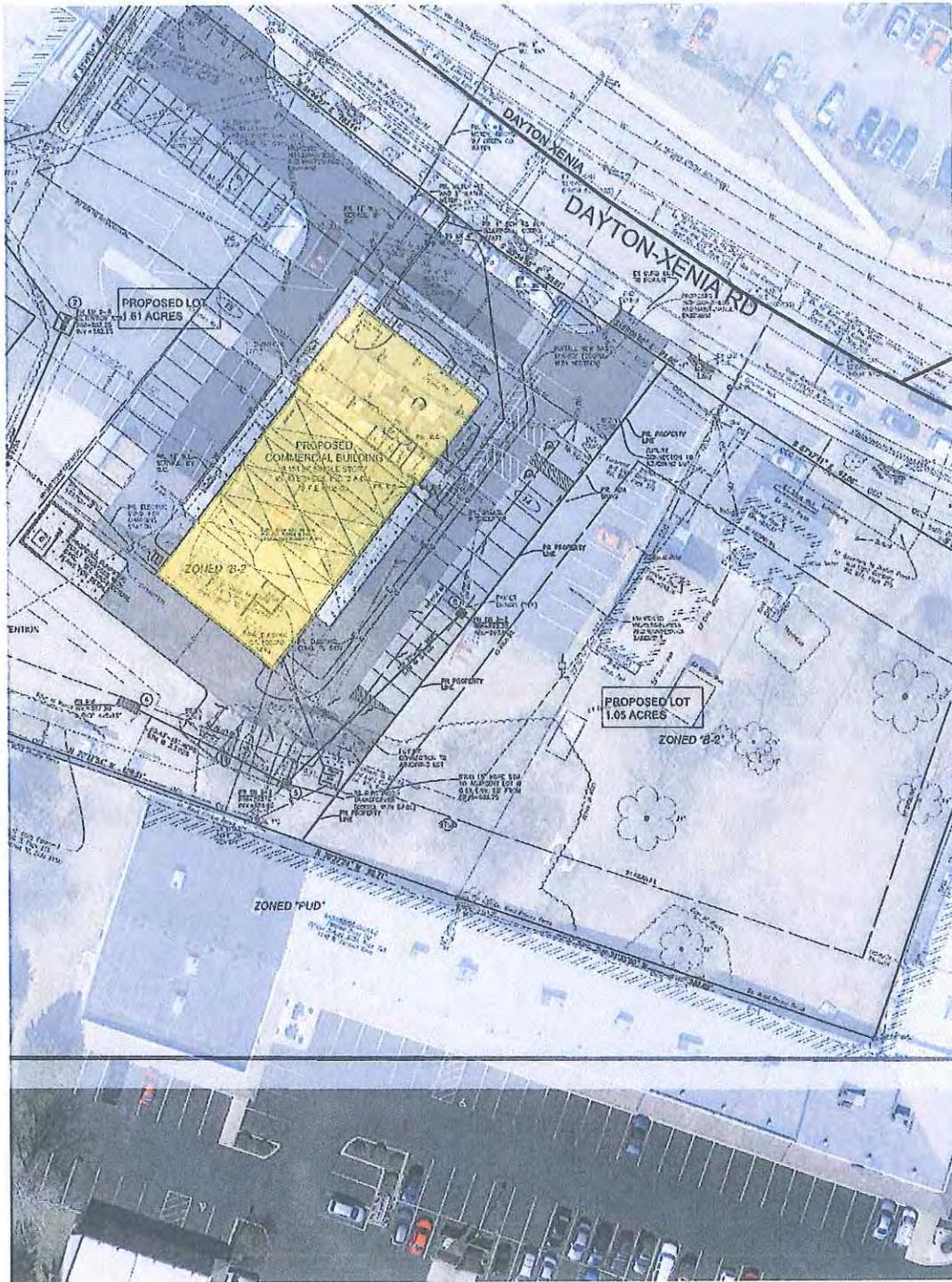
Being in the vicinity of residential, staff has added a condition that outdoor construction shall be limited from Monday thru Saturday 7:00 AM to 7:00 PM. This won't preclude indoor work such as HVAC, electrical, plumbing...etc. from occurring outside of those parameters once they get the building under roof.

RECOMMENDATION

Based on this analysis, staff recommends approval of this request subject to the conditions outlined in the attached resolution.

Attachment B

Overlay of the site with the existing aerial photo. Proposed building is highlighted in yellow.



RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
February 3, 2016

RE: PUD 15-3 SSP #1
AAA-Bob Sumerel Tire

WHEREAS, Peter Joseph, 15 West Central Parkway, Cincinnati OH 45202, agent for the property owner, has filed an application requesting approval of a Specific Site Plan for the construction of a 9,151 square foot AAA Travel and Insurance and AAA Tire and Auto Care facility located on the south side of Dayton-Xenia Road, approximately 100 feet west of the intersection of Dayton-Xenia Road and North Fairfield Road, further described as Book 5, Page 5, Parcel 87 on the tax maps of Greene County, Ohio; and

WHEREAS, public hearing was held on February 3, 2016 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Beavercreek Planning Commission finds that the facts submitted with this Specific Site Plan application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Specific Site Plan approval as per §158.066 of the Zoning Code; and

WHEREAS, the Beavercreek Planning Commission is taking administrative action in approving this Specific Site Plan.

NOW, THEREFORE BE IT RESOLVED,

SECTION I

The Beavercreek Planning Commission recommends to Beavercreek City Council approval of this Specific Site Plan for AAA-Bob Sumerel Tire, PUD 15-3, SSP #1 with the following conditions and requirements.

SECTION II

1. The approved site plan and architectural elevations shall be the plans dated "Received January 27, 2016" except as modified herein.

2. A PUD Agreement must be signed by the owner and a bond or letter of credit for the site landscaping must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
3. The final landscape plan shall be reviewed and approved by the Planning Department prior to the release of a zoning permit for the building. The final landscape plan shall include landscaping around the perimeter of the northern portion of the building, subject to review by the Planning Department.
4. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally installed, within three months weather permitting.
5. Any portion of the site disturbed by grading or by the removal of former structures and/or pervious surfaces and on which no construction occurs within three months after completion of the site grading, shall be planted with appropriate ground cover and properly maintained. Such areas shall be shown as part of the final landscape plan.
6. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including the storm drainage facilities. The City reserves the right to require more frequent collection as necessary.
7. All building mechanical equipment is to be screened from all directions with architectural features (roof forms or parapet walls) on each building. Metal screening will not be accepted. Pad mounted equipment must be screened with landscaping and/or masonry walls and shall not be visible to the public.
8. Gutters and downspouts shall not be visible on any elevation of the building. They shall be internally mounted
9. Prior to the issuance of a zoning permit, final cut sheet details and photometric plans for lighting of the site shall be reviewed and approved by the Planning Department. Maximum mounting height for any parking fixture shall be 16 feet (including the concrete base), and no pole shall be located in the paved area of the parking field. All light fixtures and related illumination of the site must meet the conditions outlined in the Zoning Code. Lights in the parking lot shall be reduced to no greater than 25 percent illumination level within one hour of closing.

10. Final topography and grading plans shall be submitted for review and approval by the City Engineer prior to the issuance of a site-grading or zoning permit.
11. Final drainage calculations shall be approved by the City Engineer prior to the release of the record plan for recording.
12. Exterior construction hours for the site shall be limited to 7:00 AM to 7:00 PM, Monday thru Saturday.
13. Temporary parking blocks shall be added to the easternmost parking spaces until the eastern portion of the PUD is developed.
14. All man-doors, service doors and loading dock doors shall be painted to match the color of the building as to blend in with the proposed façade.
15. Any split-face block, EIFS, or concrete masonry unit block will be of integral color and not a material that is painted on the outside only
16. No vehicles shall be parked outside of the building overnight or for long-term parking on the weekends.
17. The ground sign, which shall include a minimum 1-foot tall, brick and/or stone base, shall be a maximum of 5 feet tall and have a maximum 32 square feet per sign face. The final design and location shall be subject to review and approval by the Planning Department prior to release of a permit for the sign. Any ground sign shall be set in a base that shall be constructed of the same brick as used to construct the principal structure.
18. All wall signs shall be individually mounted channel letters or panels. No raceways shall be permitted. The sizes of the signs shall be limited to the sizes shown on the approved architectural elevations. The final design and location shall be reviewed and approved by the Planning Department prior to the release of the sign permit.
19. All trash collection containers shall be screened from view and enclosed within a permanent dumpster enclosure or stored completely within the building. Any dumpster enclosure shall be constructed of the same materials as the primary building and have a closable, lockable gate. The final design of the dumpster enclosure shall be reviewed and approved by the Planning and Zoning Department prior to the issuance of any zoning permits.

SECTION III

These plans and all papers relating to the approved plan shall be submitted with this Resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED:
VOTING FOR ADOPTION:
VOTING AGAINST:
ABSENT:

Chairman

Attest:

PUD 15-3 SSP 1 AAA-Bob Sumere! Resolution

GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF THE CITY OF BEAVERCREEK SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

ALL WORK IN RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM CITY OF BEAVERCREEK.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCORED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 666.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:55-66. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE ([HTTP://WWW.AGRI.OHIO.GOV/EAB/](http://www.agri.ohio.gov/EAB/)).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL KEEP PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. THE CONTRACTOR IS DIRECTED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT 1 (800) 362-2764 AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITEWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRAVEL BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONNEL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR. ST" SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 603, TYPE A (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

603.06 BEDDING. TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 603.11.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL-AND-SPIGOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 603.11.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 604, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET).

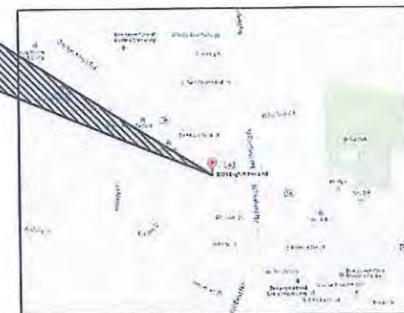
DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

EXCAVATION/FILL:

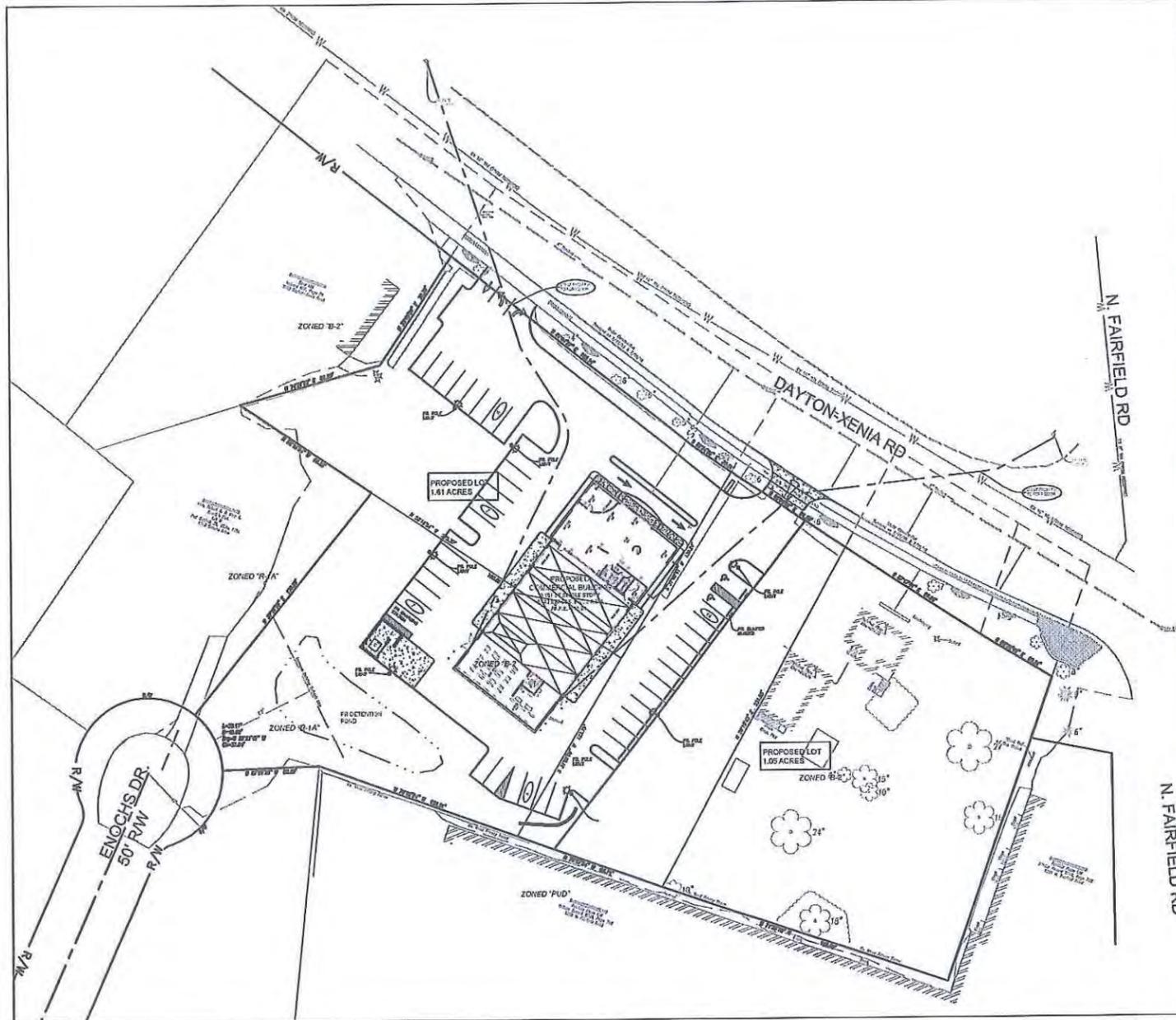
SITE BUILDING PAD EXCAVATION AND EMBANKMENT SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION AND APPROVAL.

PLANS FOR THE CONSTRUCTION OF A COMMERCIAL BUILDING FOR:
BOB SUMEREL TIRE-AAA
3321 DAYTON-XENIA RD, CITY OF BEAVERCREEK, GREENE COUNTY, OHIO
OCTOBER 2015

PROPOSED SITE



LOCATION MAP



APPLICANT/DEVELOPER:

BOB SUMEREL TIRES/AAA
C/O MIDLAND RETAIL
6125 E. KEMPER RD.
CINCINNATI, OHIO 45241
CONTACT: PETER JOSEPH
(513) 891-4724

CIVIL ENGINEERING:

EVANS ENGINEERING
4240 AIRPORT RD., SUITE 108
CINCINNATI, OHIO 45226
513-321-2168
JONATHAN R. EVANS, P.E.

SURVEYING:

LAND CONSULTANTS
314 FRONT STREET
LAWRENCEBURG, INDIANA 47025
812-537-2145
DENNIS DINKELACKER, P.S.

BENCH MARKS:

TEMPORARY BENCHMARK SET:

ELEVATION=

BENCHMARK BASED UPON

LOCATIONS SHOWN IN DRAWINGS ARE FROM A FIELD SURVEY BY LAND CONSULTANTS, INC.

INDEX:

- C-1 TITLE SHEET & GENERAL NOTES
- C-1.1 SITE CONSTRUCTION DETAILS
- C-2 EXISTING CONDITIONS & DEMO PLAN
- C-3 SITE DIMENSION AND UTILITY SERVICE PLAN
- C-4 GRADING PLAN
- C-4.1 DETENTION DETAILS
- C-5 STORMWATER POLLUTION PREVENTION PLAN (SWPPP) & NOTES

STANDARD DRAWINGS:

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

- CB 1.1 (7-15-2005) CATCH BASINS NOs 2-2A & B
- CB 1.2 (7-15-2005) CATCH BASIN NOs 2-3 & 2-4
- CB 2.2 (7-15-2005) CATCH BASIN NO. 3A
- MH 1.2 (1-20-2006) MANHOLE NO. 3
- BP-7.1 (1-19-2007) NEW CURB RAMPS WITH TRUNCATED DOMES
- DM-1.4 (4-21-2006) CONDUIT INSTALLATION

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
3. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
4. DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
5. INSTALL STORMWATER MANAGEMENT SYSTEMS.
6. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
7. SITE CONSTRUCTION.
8. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
9. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

DEPARTMENT/ UTILITY TABLE:

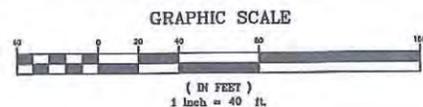
GREENE COUNTY SANITARY ENGINEERING PROJECT MANAGEMENT
TIM GROW
687 DAYTON-XENIA RD,
XENIA, OHIO 45385
TEL: 937-562-7462

GREENE COUNTY COMBINED HEALTH
360 WILSON DR.
XENIA, OHIO 45385
TEL: 937-347-5600

CITY OF BEAVERCREEK ENGINEERING
1368 RESEARCH PARK DR,
BEAVERCREEK, OHIO 45432
TEL: 937-427-5513

CITY OF BEAVERCREEK PLANNING AND ZONING
RANDALL BURKETT
1368 RESEARCH PARK DR,
BEAVERCREEK, OHIO 45432
TEL: 937-427-5512

DAYTON POWER & LIGHT (DP&L) (ELECTRIC)
1900 DRYDEN RD
MORAINE, OH 45439
CONSTANCE HOLBERT
937-331-4617
937-479-0491 CELL
CONSTANCE.HOLBERT@AES.COM



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CITY OF BEAVERCREEK PLANNING DEPARTMENT



REVISIONS	NO. & DESCRIPTION	DATE

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 108
CINCINNATI, OHIO 45226
(513) 321-2168
(513) 321-2173 FAX
ATTN: JONATHAN R. EVANS, P.E.



BOB SUMEREL TIRE/AAA
TITLE SHEET & GENERAL NOTES
3321 DAYTON-XENIA RD, CITY OF BEAVERCREEK,
GREENE COUNTY, OHIO, 45432

SCALE: HORIZ. VERT.
1"=40' N/A

JOB NO. 15-153
DATE JAN. 27, 2016

SHEET NO.

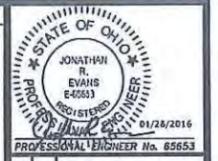
C-1



0/10
 (Projection)
 N: 2228.41
 E: 5023.1597
 Z: 688.82

LEGEND-PROP. FEATURES

-  DEMO CONCRETE PAVEMENT
-  DEMO ASPHALT PAVEMENT
-  DEMO GRAVEL PAVEMENT



REVISIONS	BY	NO. & DESCRIPTION

EVANS ENGINEERING
 4240 AIRPORT ROAD, SUITE 108
 CINCINNATI, OHIO 45226
 (513) 321-2168
 (513) 321-2173 FAX
 ATTN: JONATHAN R. EVANS, P.E.



EXISTITION CONDITIONS &
 DEMO PLAN

3321 DAYTON-XENIA RD., CITY OF BEAVERCREEK,
 GREENE COUNTY, OHIO, 45432

SCALE	HORIZ.	VERT.
1"=20'	N/A	N/A

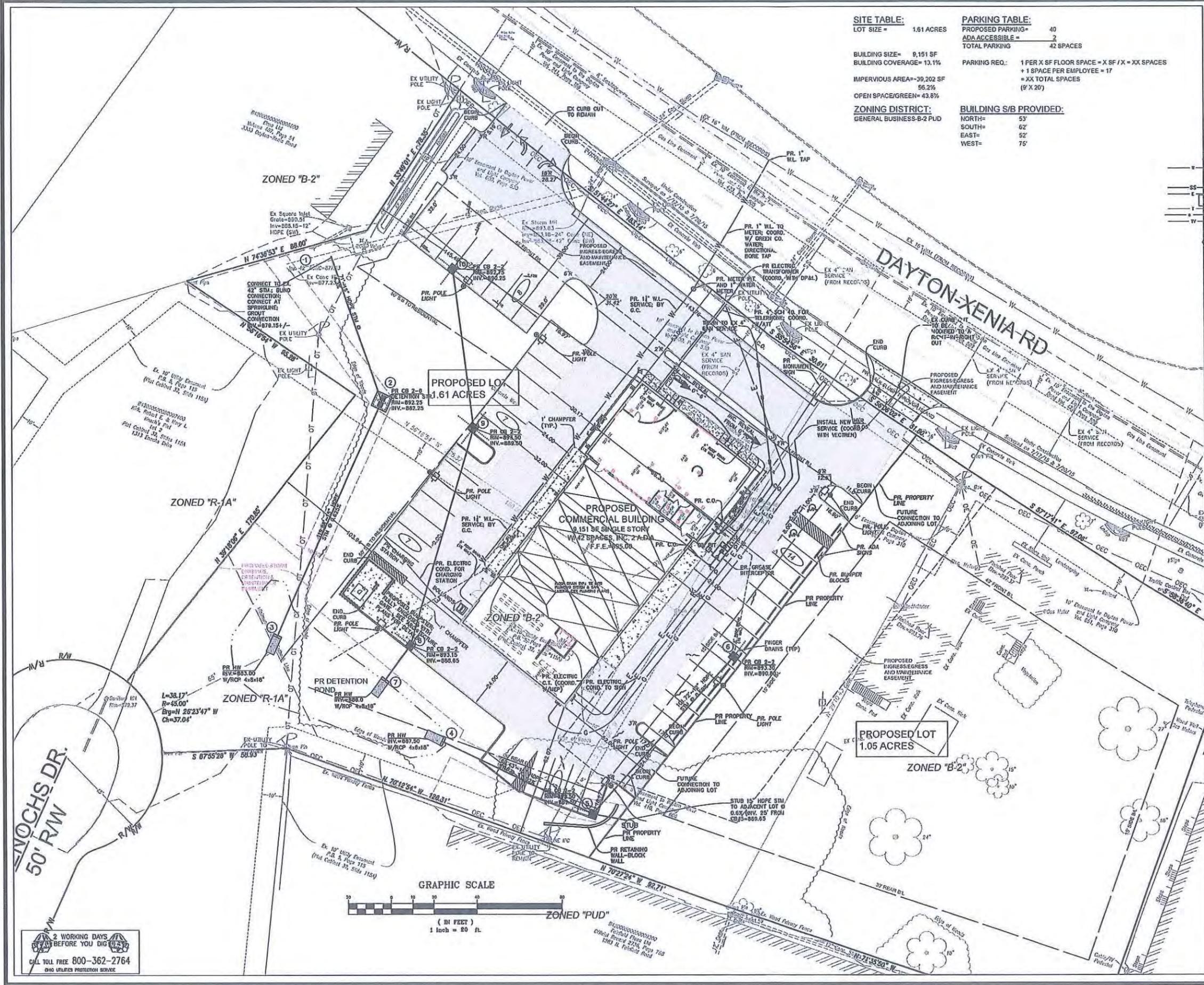
JOB. NO.	15-153
DATE	JAN. 28, 2016

SHEET NO.

C-2



2 WORKING DAYS
 BEFORE YOU DIG
 CALL TOLL FREE 800-362-2764
 800 UTILITIES PROTECTION SERVICE



SITE TABLE:
 LOT SIZE = 1.61 ACRES
 BUILDING SIZE = 9,151 SF
 BUILDING COVERAGE = 13.1%
 IMPERVIOUS AREA = 39,202 SF
 56.2%
 OPEN SPACE/GREEN = 43.8%

ZONING DISTRICT:
 GENERAL BUSINESS-B-2 PUD

PARKING TABLE:
 PROPOSED PARKING = 40
 ADA ACCESSIBLE = 2
 TOTAL PARKING = 42 SPACES

PARKING REQ.: 1 PER X SF FLOOR SPACE = X SF / X = XX SPACES
 + 1 SPACE PER EMPLOYEE = 17
 = XX TOTAL SPACES
 (9' X 20')

BUILDING S/B PROVIDED:
 NORTH = 53'
 SOUTH = 62'
 EAST = 52'
 WEST = 75'

LEGEND-PROP. FEATURES

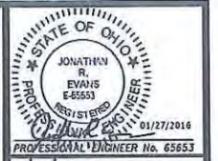
- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW PORTLAND CEMENT CONCRETE WALK
- NEW HEAVY DUTY PAVEMENT
- NEW MEDIUM DUTY ASPHALT PAVEMENT

LEGEND-PROP. FEATURES

- PROPOSED DOMESTIC WATER SERVICE (1" LINE)
- PROPOSED 6" SANITARY LATERAL PVC SDR 35 @ 2.00% MIN. SLOPE
- PROPOSED UNDERGROUND ELECTRIC SERVICE
- PROPOSED UNDERGROUND TELEPHONE SERVICE
- PROPOSED GAS SERVICE (SEE T&E BY USER-INSTALL 4" CONDUIT)
- PROPOSED UNDERGROUND CABLE CONDUIT
- DS - PR. DOWNSPOUT
- PR. 6" SDR 35 ROOF DRAIN @ 2.00% (OR SLOPED AS NOTED)
- PR. LIGHTING; SEE LIGHTING PLANS (BY OTHERS)

NOTES:

1. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRING OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND FIELD SURVEY BY LAND CONSULTANTS, JULY 2015.
2. ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES (SEE COVER SHEET FOR CONTACTS), OPEN ENERGY-ELECTRIC VECTORI - GAS ATT - TELEPHONE GREEN COUNTY - SANITARY SEWER GREEN COUNTY - WATER SERVICE FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH CURRENT ARCHITECTURAL AND M.E.P. PLANS PRIOR TO STARTING CONSTRUCTION.
3. THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER.
4. THE FLUORING CONTRACTOR MUST CONDUCT A TAP CAMERA INSPECTION OF THE EXISTING LATERALS AND VERIFY/DETERMINE THE ACTUAL DEPTH AND CONDITION OF LATERALS TO BE RE-USED. A TAP PERMIT MUST BE OBTAINED FROM GREEN COUNTY FOR BUILDING SEWERS. THE SEWER CONTRACTOR MUST CONTACT THE ENGINEER FOR SEWER INSPECTION AFTER TAP PERMIT IS ISSUED.
5. SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE REINFORCED R-1976 LID AND FRAME.
6. COORDINATE WITH GREEN COUNTY FOR BUILDING WATER TAP.
7. ROOF DRAINS, FOUNDATION DRAINS, COOLING WATER, SWIMMING POOL WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
8. ROOF DRAINS SHALL BE SDR 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
9. SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER PACKS.
10. A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
11. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
12. ALL CURB RADI ARE 3' UNLESS OTHERWISE NOTED.
13. ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
14. ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
15. ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
17. ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI 5-7% AIR ENTRAINED.



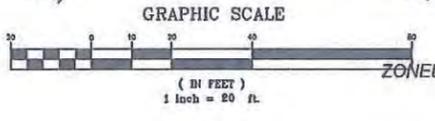
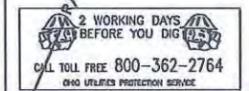
REVISIONS	BY	NO. & DESCRIPTION	DATE

EVANS ENGINEERING
 4240 AIRPORT ROAD, SUITE 108
 CINCINNATI, OHIO 45226
 (513) 321-2168
 (513) 321-2173 FAX
 ATTN: JONATHAN R. EVANS, P.E.

SITE DIMENSION AND UTILITY SERVICE PLAN

SCALE:	HORIZ.	VERT.
	1"=20'	N/A
JOB NO.:	15-153	
DATE:	JAN. 27, 2016	

SHEET NO.
 C-3





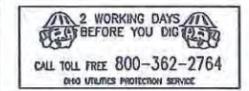
REVISIONS	
NO. & DESCRIPTION	DATE

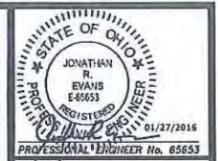
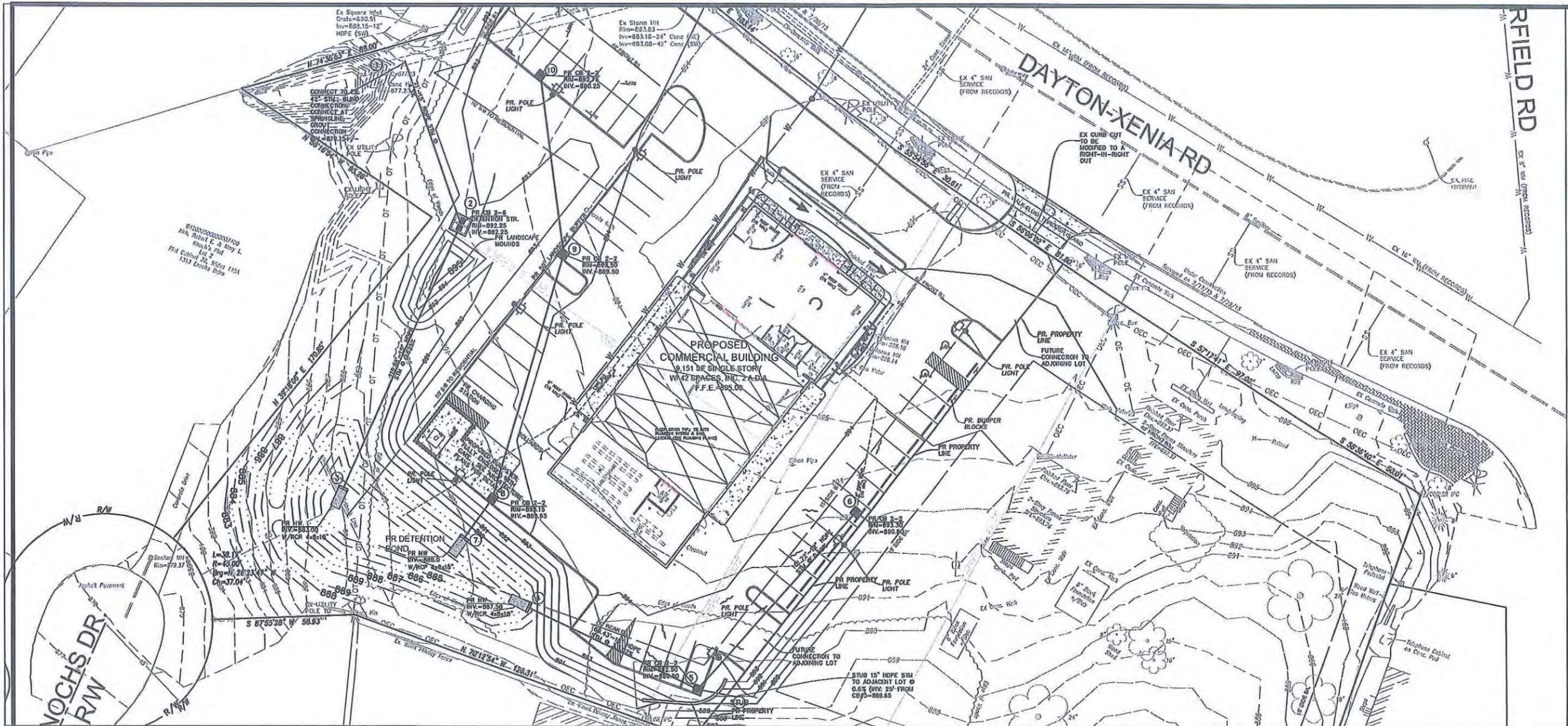
EVANS ENGINEERING
 4240 AIRPORT ROAD, SUITE 108
 CINCINNATI, OHIO 45226
 (513) 321-2168
 (513) 321-2173 FAX
 ATTN: JONATHAN R. EVANS, P.E.

BOB SUMEREL TIRE/AAA
GRADING PLAN
 3321 DAYTON-XENIA RD., CITY OF BEAVERCREEK,
 GREENE COUNTY, OHIO, 45432

SCALE:	HORIZ.	VERT.
	1"=20'	N/A
JOB NO.	15-153	
DATE	JAN. 27, 2016	

SHEET NO.
 C-4





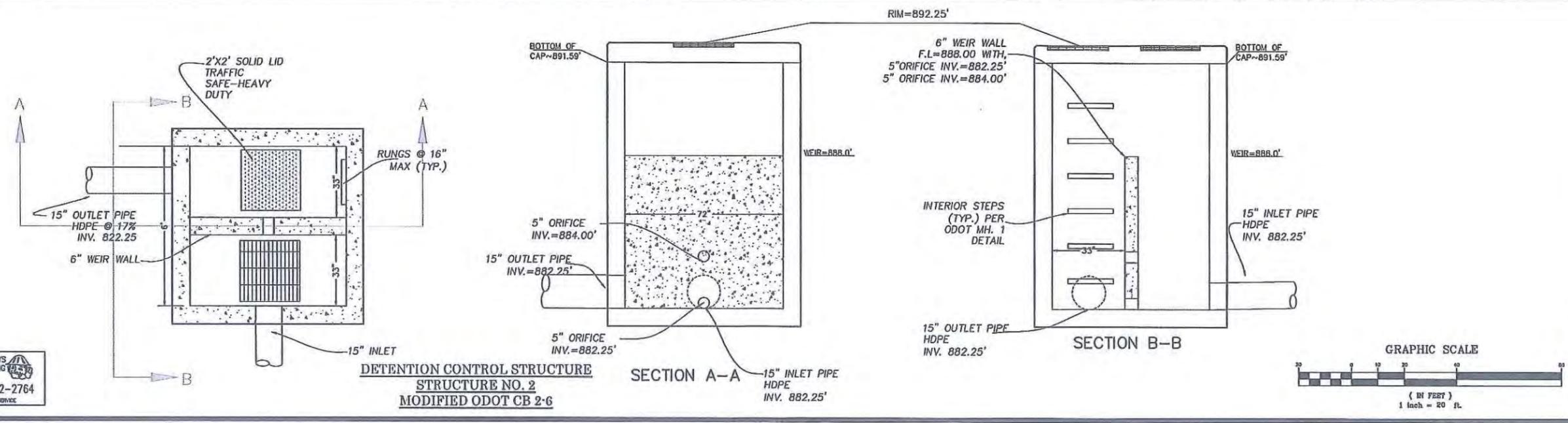
REVISIONS	BY	NO. & DESCRIPTION	DATE

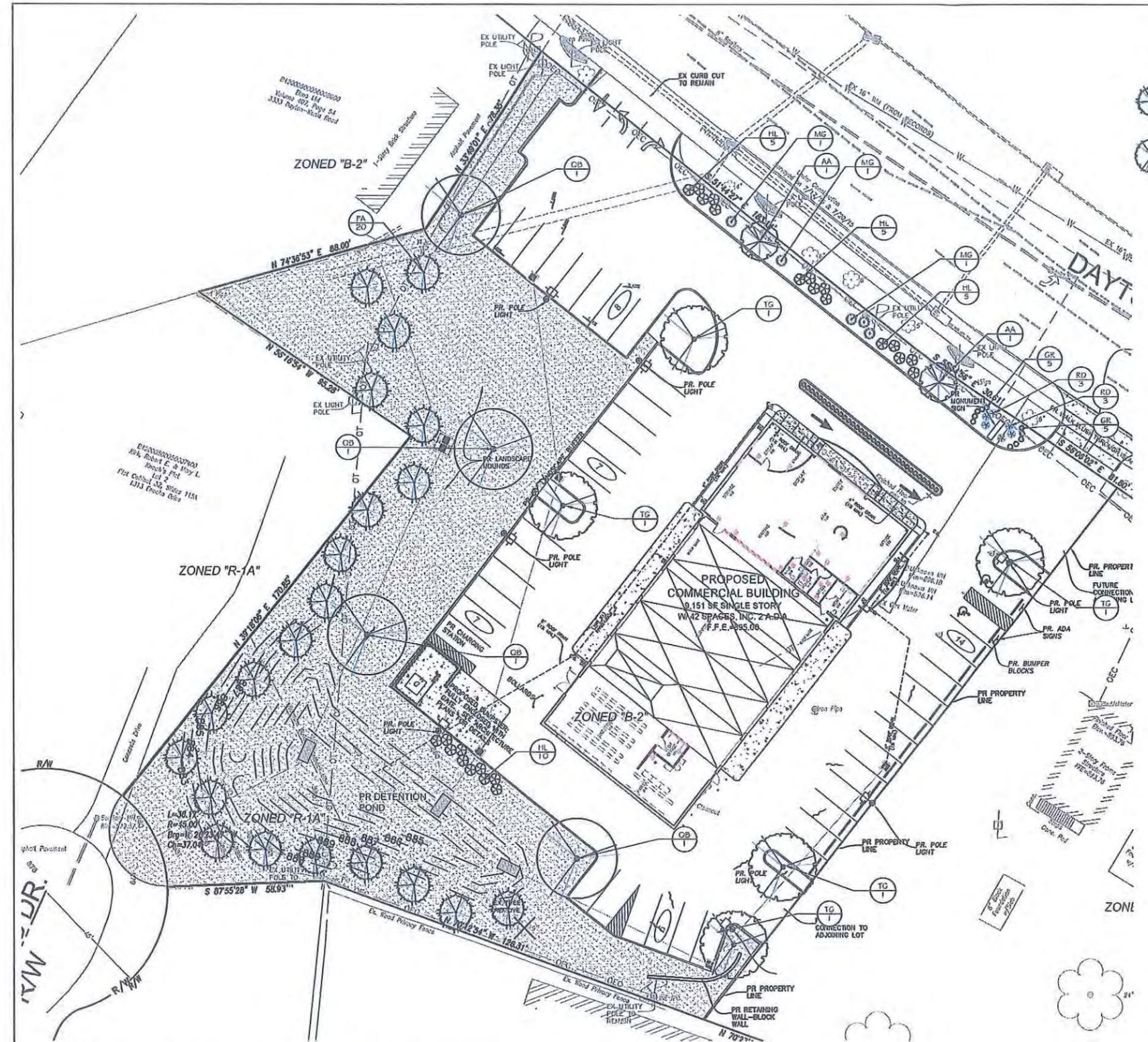
EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 108
CINCINNATI, OHIO 45226
(513) 321-2168
(513) 321-2173 FAX
ATTN: JONATHAN R. EVANS, P.E.

BOB SUMEREL TIRE/AAA
DETENTION DETAILS
3321 DAYTON-XENIA RD., CITY OF BEAVERCREEK,
GREENE COUNTY, OHIO, 45432

SCALE:	HORIZ.	VERT.
	1"=20'	N/A
JOB NO.	15-153	
DATE	JAN. 27, 2016	

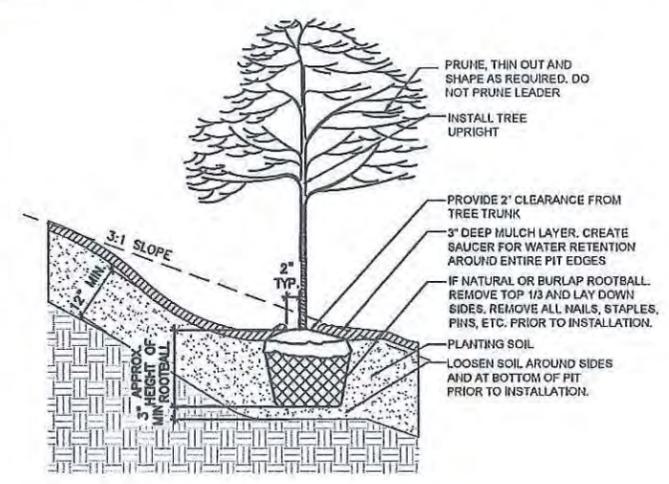
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C-4.1



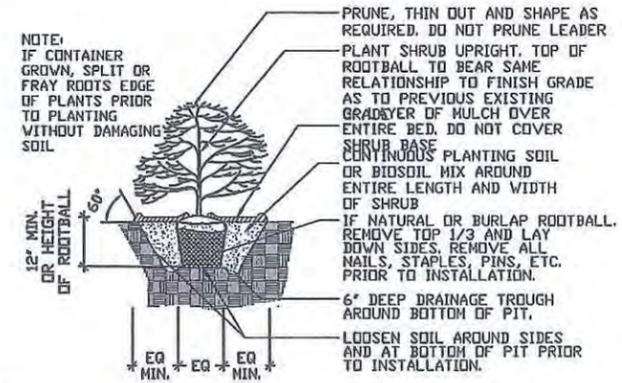


PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	COULT	CAL	SIZE
	AA	2	Armstrong Red Maple	<i>Acer rubrum</i> 'Armstrong'	B + B	2' Cal	
	PA	23	Norway Spruce	<i>Picea abies</i>	B + B	7'-8'	
	OB	4	Swamp White Oak	<i>Quercus bicolor</i>	B + B	2' Cal	
	TG	5	Greenspire Littleleaf Linden	<i>Tilia cordata</i> 'Greenspire'	B + B	6'-7' H	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	COULT		
	HL	25	Limesight Hydrangea	<i>Hydrangea paniculata</i> 'Little Lime'™	3 gal		
	RD	7	Drift Shrub Rose	<i>Rosa Merlotland</i> series	3 gal		
ANNUALS/PERENNIALS	CODE	QTY	COMMON NAME	BOTANICAL NAME	COULT		
	GR	10	Hybrid Cranesbill	<i>Geranium</i> x 'Rosanne'™	1 gal		
GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	COULT		
	MG	5	Morden Grass	<i>Miscanthus sinensis</i> 'Gracillimus'	5 gal		
	FH	33	Hamel's Dwarf Fountain Grass	<i>Pennisetum alopecuroides</i> 'Hamelin'	2 gal		
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	COULT	SPACING	
	TO	28,734 sf	Turf Seed Drought Tolerant Dwarf Fescue Blend		Seed		

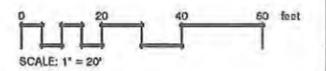


1 TREE PLANTING DETAIL
SCALE: Not To Scale



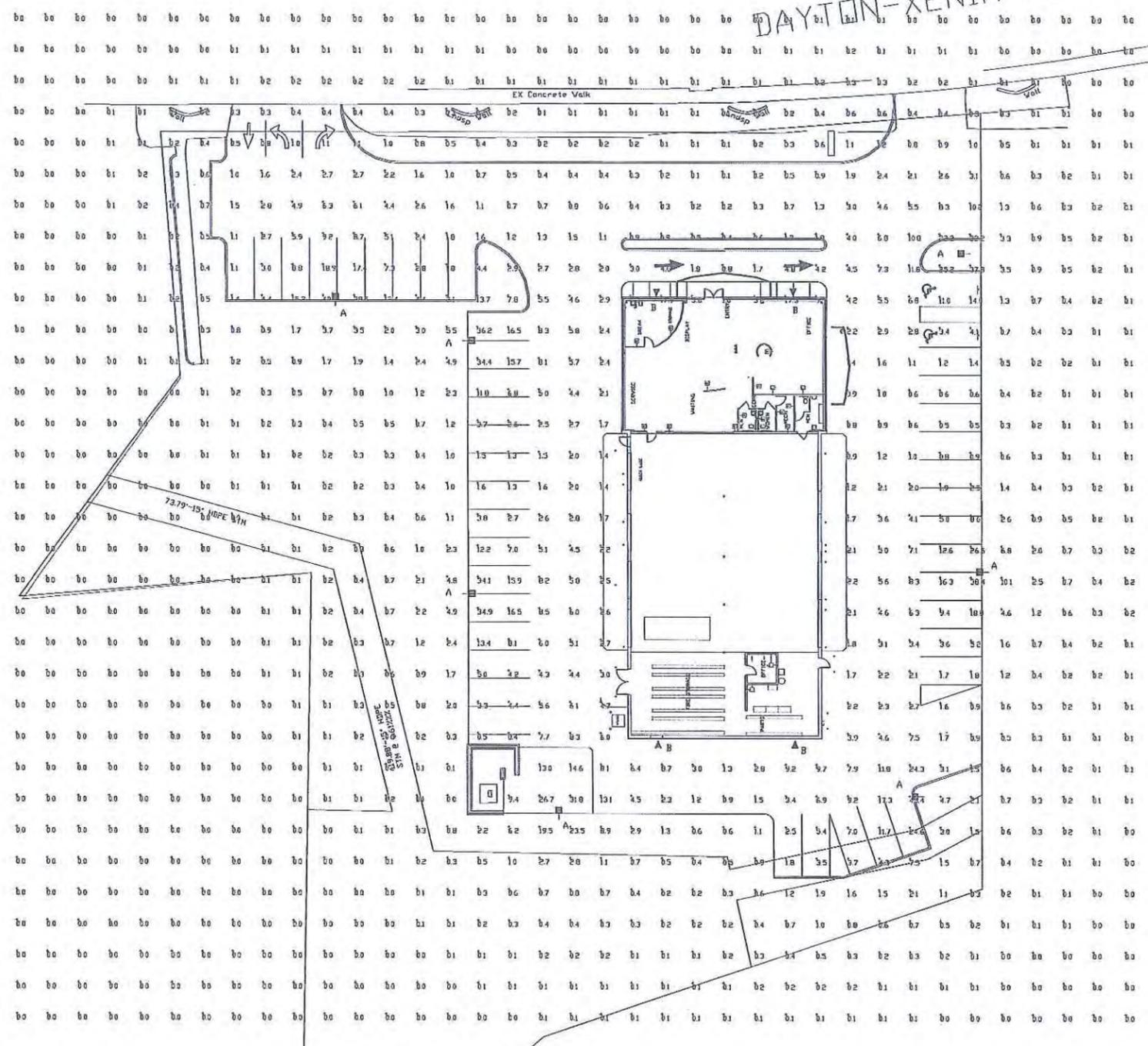
2 SHRUB PLANTING DETAIL
SCALE: Not To Scale

- NOTES:**
1. PLANTING BEDS SHALL BE PREPPED WITH ORGANIC MEDIUM TO A MINIMUM DEPTH OF 8 INCHES.
 2. PLANTS WILL BE INSTALLED WITH M-ROOTS AND SLOW RELEASE FERTILIZER.
 3. ALL PLANT MATERIAL TO BE NURSERY GROWN IN SIMILAR CLIMATE. ALL PLANT MATERIAL SHALL BE VIGOROUS AND OF NORMAL HABIT OF GROWTH AND SHALL BE FREE OF GIRDLING ROOTS, SUN SCALD, ABRASIONS, DISEASE, INSECTS, INSECT EGGS AND LARVAE. PLANTS SHALL EQUAL OR EXCEED THE STANDARDS AS OUTLINED BY THE AMERICAN STANDARDS FOR NURSERY STOCK.
 4. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL OR REJECTION BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION. INSTALLED AND THEN REJECTED MATERIAL SHALL BE REPLACED BY THE CONTRACTOR AT HIS/HER EXPENSE.
 5. ALL BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES WITH DARK HARDWOOD MULCH AFTER PLANTING IS INSTALLED.
 6. ALL AREAS TO BE PLANTED WITH TURF ARE TO BE SCARIFIED PRIOR TO SEEDING.
 7. ALL SEEDED AREAS ARE TO BE COVERED WITH A LAYER OF STRAW AND WATERED PRIOR TO COMPLETION OF LANDSCAPE INSTALLATION.
 8. ALL PLANT MATERIAL IS TO CARRY A ONE YEAR GUARANTEE.



DAN DRUFFEL LANDSCAPING
 MANVILLE, OH 43030
 LANDSCAPE PLAN
 BOB SUMEREL TIRE / AAA
 3221 Dayton - Xenia Road
 BEEVERCREEK, OH 45432
 Date: DEC. 01, 2015
 Scale: 1" = 10'-0"
 Sheet: 1 of 1

DAYTON-XENIA RD



Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lun. Lumens	Arr. Watts
	7	A	SINGLE	XLCM-FT-LED-HO-CV-SINGL-F-14"PILE+2"BASE	1.000	N.A.	30937	275.6
	4	B	SINGLE	PWM-S-LED-HI-CV-UE	1.000	N.A.	5184	55.6

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	1.89	43.4	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	5.55	43.4	0.1	55.50	434.00

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/AEL's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

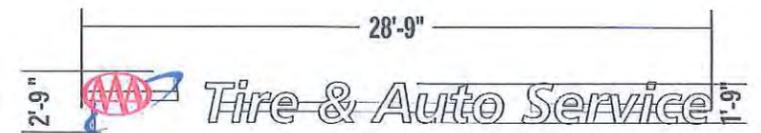
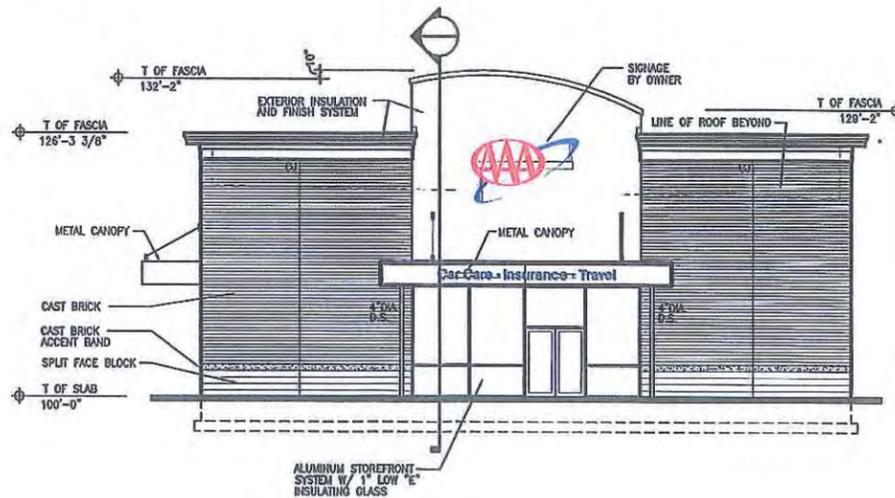
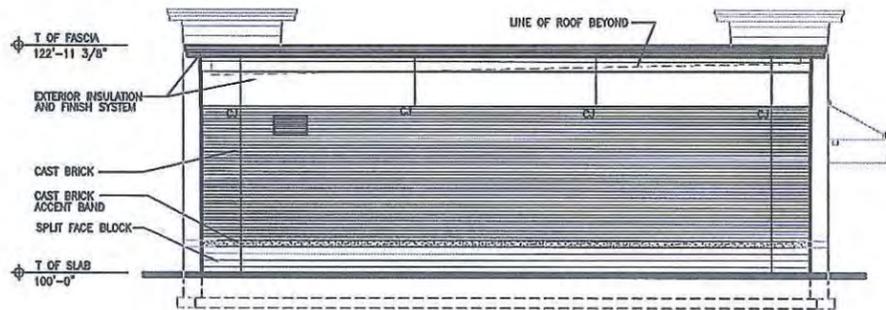
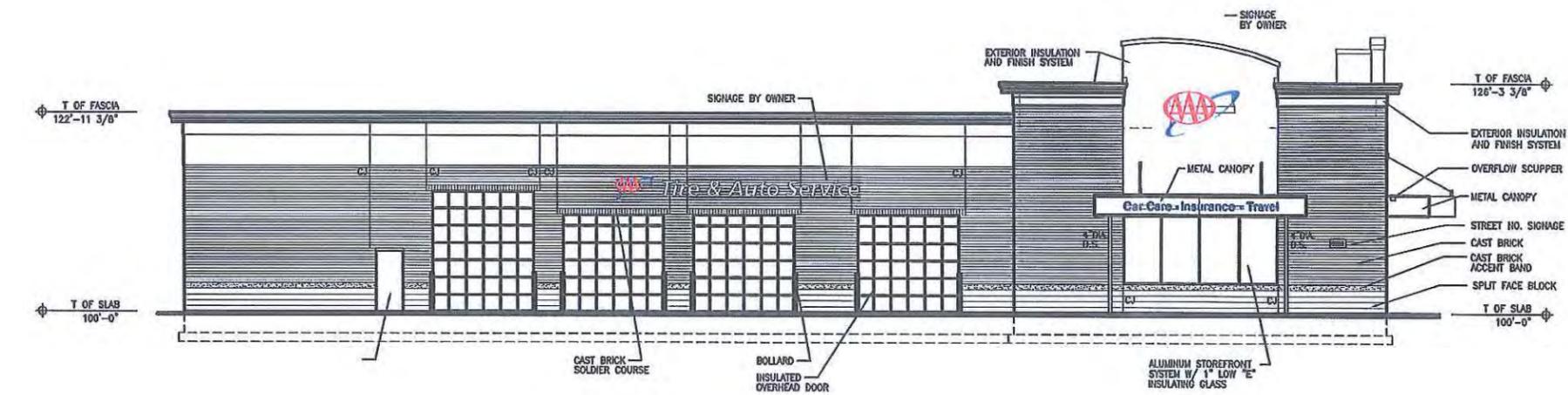
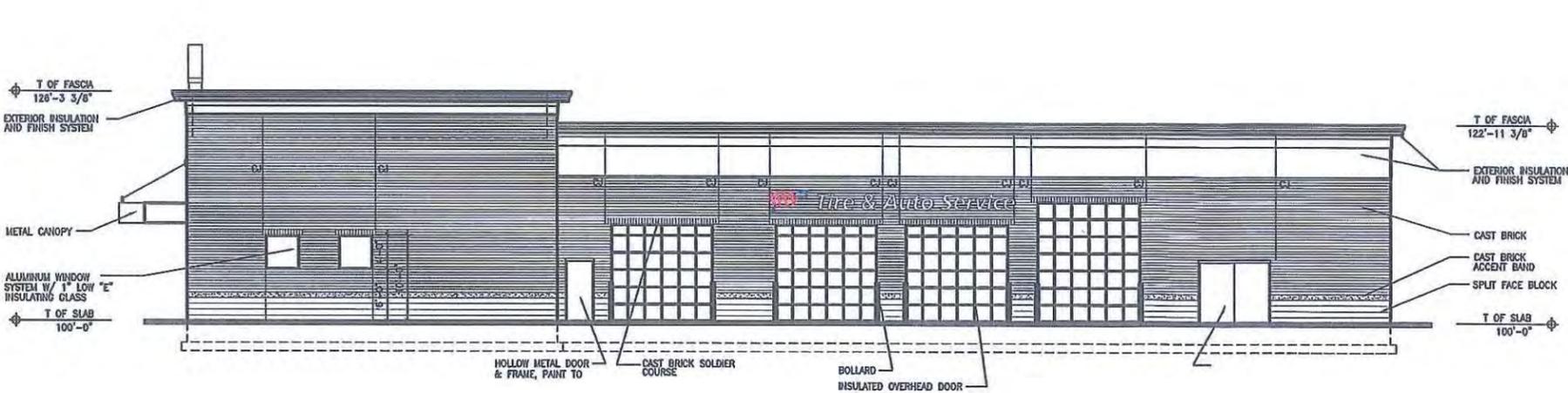
Total Project Watts
Total Watts = 21516

LIGHTING PROPOSAL LD-130508-A

8339 SUGAR HILL
3321 DAYTON-XENIA RD
BEAVERCREEK, OH

DATE: 12-07-13 REV: 07-16 SHEET 1 OF 3

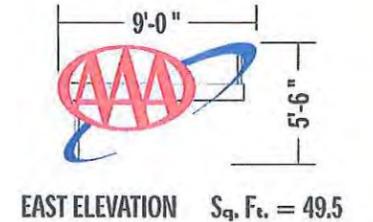
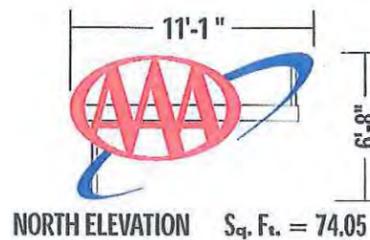
SCALE: 1"=20'



QTY:2 - EAST & WEST ELEVATION

Sq. Ft. = 79.75 x 2 (159.5)

- Furnish & install one- (1) raceway mounted LED illuminated logo and letters
- AAA Logo
- Letter & logo are 5" deep fabricated aluminum, .090" backs welded to .063" sides
- Inside of letters/logo - painted white
- AAA Logo
- Outside returns - Swoops painted blue (PMS 287 match)
- AAA painted red (PMS 485 match)
- AAA face is 3/16" red and #2114 blue plexiglass with 1" red and blue trim cap
- Illumination: Red and White LEDs
- Tire & Auto Service Letters
- Returns - painted white
- Faces-3/16" white plex with 1" white trim cap
- Illumination -White LEDs
- Raceway - 5"x5" extruded aluminum, containing transformers and secondary wiring, painted to match facade
- UL Listed and Labeled



NORTH ELEVATION Sq. Ft. = 74.05

EAST ELEVATION Sq. Ft. = 49.5



QTY:2 - EAST & NORTH ELEVATION Sq. Ft. = 18.27 (36.54 Total)

- Furnish & install two- (2) set of raceway mounted LED illuminated channel letters and logos.
- Letters are 5" deep fabricated aluminum, .090" backs welded to .063" sides
- Inside of letters - painted white
- "Car Care Travel Insurance" returns - painted blue
- AAA returns - blue swoops; red oval
- "Car Care Travel Insurance" faces are 3/16" #2114 blue plexiglass with 1" blue trim caps
- AAA face is 3/16" red and #2114 blue plexiglass with 1" red and blue trim cap
- Illumination: Red and White LEDs
- Raceway - 5"x5" extruded aluminum, containing transformers and secondary wiring, painted to match
- UL Listed and Labeled

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CITY OF BEAVERCREEK PLANNING DEPARTMENT

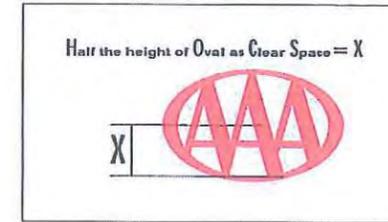
TOTAL SQ. FT. = 319.59

Bob Sumorel/AAA -3221 Dayton-Xenia Rd., Beaver Creek, Oh

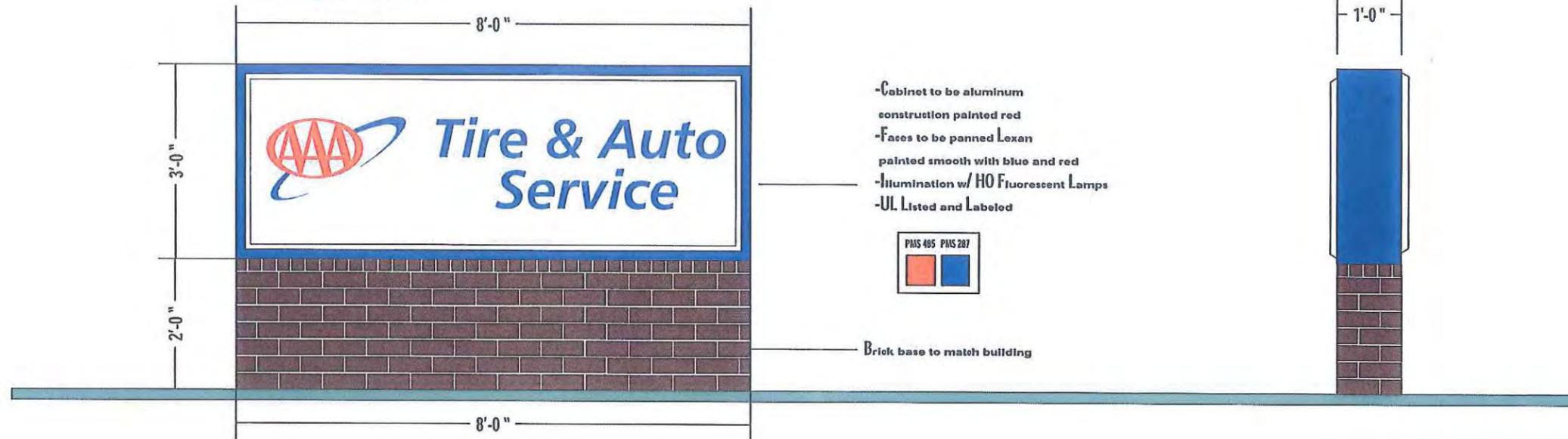
FILE: BSAAA Beaver Creek CL-2	Approved By: _____
DATE: 1-28-16	Sales Rep: Mark Stoltman
SCALE: 1/8" = 1'	DRAWN BY: WOODY FELLINGER

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Total Sq Ft = 24.00



- Cabinet to be aluminum construction painted red
- Faces to be panned Lexan painted smooth with blue and red
- Illumination w/ HO Fluorescent Lamps
- UL Listed and Labeled



Brick base to match building



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CITY OF BEAVERCREEK
PLANNING DEPARTMENT

Bob Sumerei/AAA -3221 Dayton-Xenia Rd., Beaver Creek, Oh

FILE: BSAAA Beaver Creek Mon-2

Approved By

DATE: 1-27-16

Sales Rep. Mark Stottman

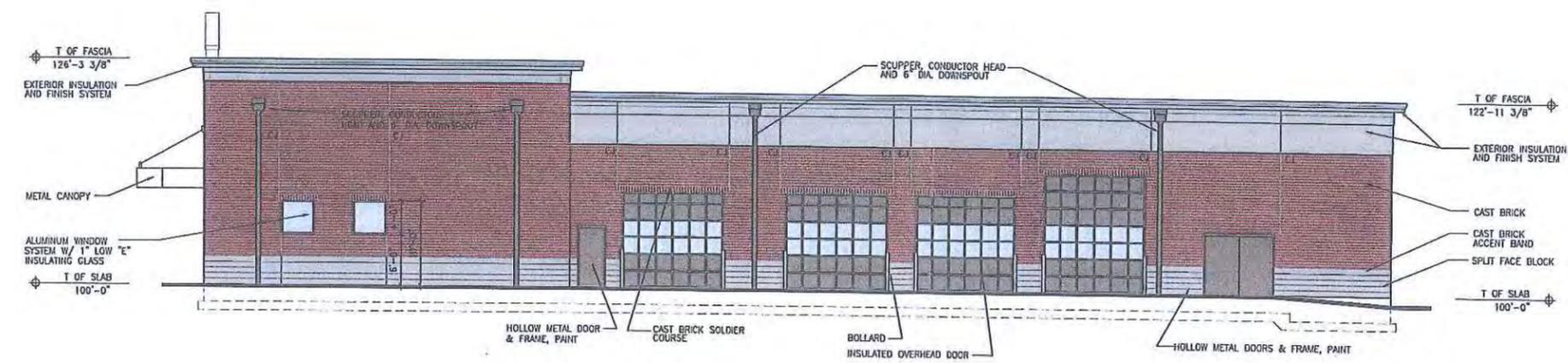
SCALE: 3/8"=1'

DRAWN BY: WOODY FELLINGER

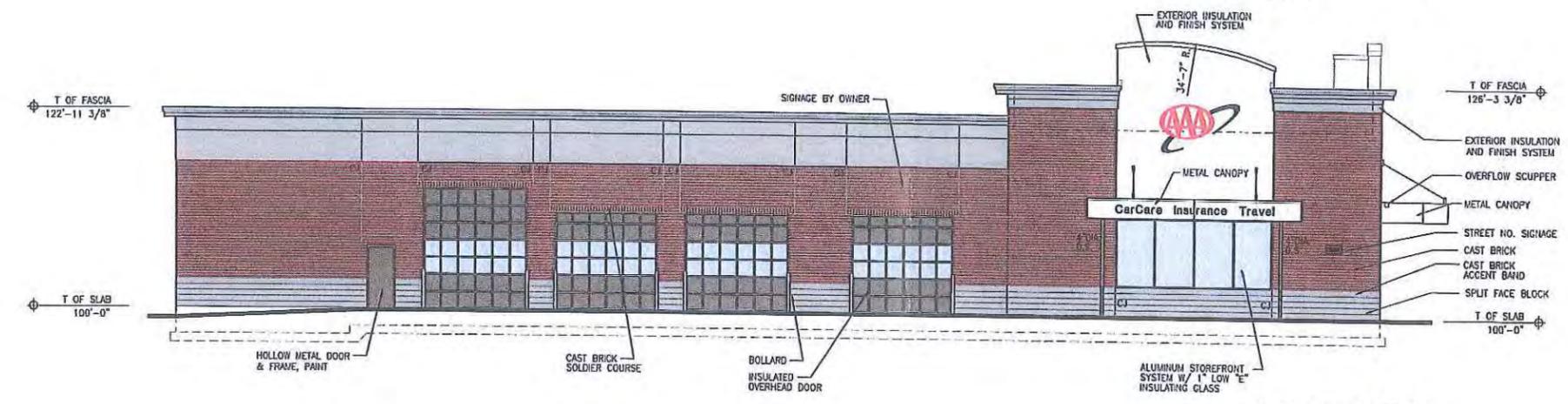
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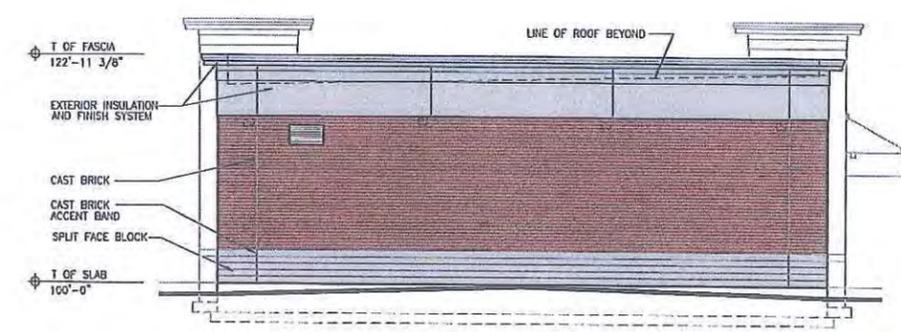
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WEST ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



TIRE AND AUTO SERVICE
3321 DAYTON-XENIA ROAD
BEAVER CREEK, OHIO



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Covington, KY 41011
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hw@hubweber.com

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EXTERIOR ELEVATIONS

A201

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